

SUBMISSION ON NOTIFIED RESOURCE CONSENT APPLICATION

TIPPLE FAMILY TRUST STAIRCASE, 38 KAITERITERI-SANDY BAY ROAD

RM240000: Land use consent for a deck and associated stairway at 38 Kaiteriteri Sandy Bay Road that does not meet permitted activity rules for building set back and daylight admission in the Residential Zone, building set back in the Open Space Zone, earthworks in the Land Disturbance Area 2, structures in a Road Area, structures in a Cultural Heritage Precinct or structures in the Coastal Environment Area. The structure also extends down the hillside across an unformed legal road to access the beach below the property.

The deck and stairway were constructed without the correct authorisations therefore the application for resource consent is made retrospectively.

TO: Resource Consent Administration Officer
Tasman District Council
Private Bag 4, Richmond 7050
Submitted via email: rcadmin@tasman.govt.nz

COPY TO: D Tipple & T Tipple & M Tipple
c/- Tayla Carson
tayla@planscapes.co.nz
Planscapes (NZ) Limited

Introduction

1. Ngāti Rārua are tangata whenua in Te Taihū o te Waka-a-Māui ('Te Taihū', the northern South Island) and hold mana whenua / mana moana over the lands and waters of their rohe.
2. Ngāti Rārua originate from the western coast of the King Country region and descend from those tūpuna who travelled to Aotearoa on the Tainui Waka. Ngāti Rārua came to Te Taihū from the late 1820s and established pā and kāinga at numerous locations in Te Tai Tapu (Northwest Coast), Mohua (Golden Bay), Te Tai o Aorere (Tasman Bay) and Wairau / Te Kōko-o-Kupe (Cloudy Bay). Ngāti Rārua customary rights overlap and intersect with those of other tangata whenua iwi in these areas.
3. Te Rūnanga o Ngāti Rārua manages assets, businesses and taonga on behalf of all Ngāti Rārua whānau members. It is the mandated voice and representative for the collective interests of Ngāti Rārua and is an iwi authority in terms of the Resource Management Act 1991.

Ngāti Rārua Associations with the Kaitereterere area

4. Ngāti Rārua tūpuna maintained a settlement in Kaitereterere from the earliest days of their arrival in Te Taihū. The area is steeped in history – abundant wāhi tapu and other taonga link present day iwi physically and spiritually to their tūpuna.
5. For Ngāti Rārua, the area encompassed by Kākā Point, including the land now owned by the Tipple Family Trust, is a wāhi tapu.



Kākā Point Pā & subject site

6. Ngāti Rārua tūpuna maintained a defensible pā on Kākā Point. Within the pā site, houses were built on terraces and food stored in pits. A series of ditches were constructed across the narrow area between the point and the mainland. Stone remnants indicate a wall existed on the outside of the ditch. It is likely that a series of banks and terraces were used to obstruct aggressors who were able to penetrate the outer wall. On the seaward sides of the pā, precipitous cliffs provided an excellent defensible natural barrier.
7. Kākā Pā was part of a network of settlements that stretched along the coast of Te Tai o Aorere, forming part of the seasonal movement between fishing grounds, inland cultivation sites and coastal forest resource harvesting areas. This area also offered whānau travelling along the coast by waka or on foot a place to rest.
8. Further details on the significance of Kākā Point to Ngāti Rārua are contained in Appendix A.

Vest and gift back of Kākā Point Pā and statutory acknowledgements

9. Upon the enactment of the *Ngāti Kōata, Ngāti Rārua, Ngāti Tama ki Te Tau Ihu, and Te Ātiawa o Te Waka-a-Māui Claims Settlement Act 2014*, Kākā Point was vested jointly in the trustees of the Ngāti Rārua Settlement Trust, Ngāti Tama ki Te Waipounamu Trust, and Te Ātiawa o Te Waka-a-Māui Trust for a period of seven days, before being gifted back to the Crown by these iwi for the people of New Zealand.¹ This symbolic gesture denoted the very high level of importance that Kākā Pā Point has for the three tangata whenua iwi. Following the vesting, the area remains a reserve under the Reserves Act 1977 administered by the Kaiteriteri Recreation Reserve Board.
10. The subject site is adjacent to two Ngāti Rārua statutory acknowledgement areas – Kākā Point Pā Statutory Area and the Te Taihu Coastal Marine Statutory Area.

¹ Ngāti Kōata, Ngāti Rārua, Ngāti Tama ki Te Tau Ihu, and Te Ātiawa o Te Waka-a-Māui Claims Settlement Act 2014, s138.

11. The Tipple property directly adjoins the Kākā Point Statutory Area. A map of this area is included below. The Crown acknowledgement of the cultural, historical, spiritual and traditional associations that Ngāti Rārua have with this area is included at Appendix A.
12. We note that statutory acknowledgements are only able to be made over Crown owned land. This means that, while the Tipple property is located on the area encompassed by Kākā Point, none of the private landholdings on Kākā Point were able to be included within the statutory area.



13. The subject site also adjoins the Te Tauihu Coastal Marine Statutory Area. A map of this area and the Crown acknowledgement of the associations that Ngāti Rārua have with it are set out at Appendix B.
14. Ngāti Rārua has a third statutory area within Kaiterere, being Kaiteriteri Scenic Reserve. This area is located at the other end of Kaiterere Bay. The Crown acknowledgement of the associations that Ngāti Rārua have with Kaiteriteri Scenic Reserve area are included in the text for Kākā Point (refer Appendix A).
15. Statutory acknowledgements may be cited as evidence of the associations that iwi have with an area in submissions to consent authorities.² It is noted that the existence of a statutory acknowledgment does not limit any statement made by Ngāti Rārua with respect to the extent of their cultural associations with the wider area.³

² Ibid, s48(1)

³ Ibid, s 40(2)(4)

Ngāti Rārua Environmental Strategy

16. The Ngāti Rārua environmental strategy, [Poipoia Te Ao Tūroa](#), sets out Ngāti Rārua values, priorities and aspirations for environmental management. Poipoia Te Ao Tūroa is an 'iwi management plan' prepared and mandated by Te Rūnanga o Ngāti Rārua o Ngāti Rārua and it was lodged with Tasman District Council in December 2021.
17. There are a number of provisions in Poipoia Te Ao Tūroa which are relevant to this application and reflected in the Ngāti Rārua submission. Objectives of particular relevance include:

PTAT Objective 5.1 Rangatiratanga | Leadership and decision making

Ngāti Rārua kaitiaki role is enhanced, restored and protected through having effective influence over, meaningful involvement in, and priority given to kaitiaki interests in all areas of environmental management where decisions are made by others.

PTAT Objective 8.1 Ngā Wāhi Taonga Tuku Iho | Sites and areas of significance

Ngāti Rārua protect and maintain their cultural and spiritual associations with ngā wāhi taonga tuku iho and exercise their role as kaitiaki of these places, sites and areas.

Policy 8.2(I)

Actively participate in local and central government regulatory policy and consent processes that affect the protection of ngā wāhi taonga tuku iho.

Policy 8.2(V)

Where activities may damage ngā wāhi taonga tuku iho, require that appropriately experienced Ngāti Rārua iwi monitors are present to ensure cultural values are managed according to tikanga and kawa.

PTAT Objective 10.1. Mātauranga | Incorporation of customary practices, principles and techniques in environmental management

Ngāti Rārua tikanga and mātauranga inform and guide environmental management and statutory planning processes within Te Taihū.

Submission

18. Ngāti Rārua **opposes** the application.
19. Specific concerns relate to:
- Recognition of the significant associations that Ngāti Rārua have with the Kaitereterere area.
 - The ability of Ngāti Rārua to exercise kaitiakitanga.
 - Provision for Ngāti Rārua tikanga and mātauranga to inform and guide activities that may adversely affect the relationship of Ngāti Rārua with their ancestral sites, wāhi tapu and other taonga.
 - Inconsistency with objectives and policies in the Tasman Resource Management Plan.
 - Inconsistency with objectives and policies in the New Zealand Coastal Policy Statement.
 - Inconsistency with Part 2 of the Resource Management Act.
20. The subject site is located within an area that is highly significant to Ngāti Rārua, as evidenced in the Crown acknowledgement of the cultural, historical, spiritual and traditional associations that Ngāti Rārua have with Kākā Point and the wider Kaitereterere area.⁴ However, the application does not adequately identify the cultural values and associations that Ngāti Rārua have with this area, and makes no assessment of the actual or potential effects of the activity on Ngāti Rārua interests.

⁴ Refer to Appendix A for the full text of the Crown acknowledgement.

21. Carrying out the works described in the application without authorisation has had a significant adverse effect on the ability of Ngāti Rārua to exercise kaitiakitanga. Ngā wāhi taonga tuku iho⁵ are an essential part of Ngāti Rārua identity and their protection is central to kaitiakitanga.
22. We further submit that carrying out the works described in the application without authorisation has meant that there was no ability for Ngāti Rārua tikanga and mātauranga to guide an activity that had a significant risk of adversely affecting a wāhi taonga tuku iho. Had the required consents been sought prior to carrying out the work, Ngāti Rārua would have been able to highlight the important associations that the iwi has with this area and to recommend measures that could have been taken to avoid, remedy or mitigate potential adverse effects on cultural values.
23. The activity is inconsistent with Tasman Resource Management Plan Objective 10.2.2 and Policies 10.2.3.2, 10.2.3.4, 10.2.3.15, 10.2.3.19 and 8.2.3.21, as follows:

TRMP Chapter 10: Historic Heritage

Objective 10.2.2

Appropriate protection, management and enhancement of historic heritage, including cultural heritage sites, heritage buildings and structures, and protected trees, for their contribution to the character, identity, wairua, and visual amenity of the District.

Policy 10.2.3.2

To reduce the risk of modification, damage or destruction of cultural heritage sites arising from subdivision, use and development activities.

Policy 10.2.3.4

To ensure that where an activity that requires a resource consent will have an adverse effect on the wairua or other cultural or spiritual values associated with a wāhi tapu, that activity has been approved by manawhenua iwi as an affected party.

Policy 10.2.3.15

To account for the values of manawhenua iwi by acknowledging the manawhenua iwi as kaitiaki in relation to cultural heritage sites of significance to Maori in the District.

Policy 10.2.3.19

To ensure that highly significant cultural heritage sites are maintained, protected or enhanced.

TRMP Chapter 8: Margins of Rivers, Lakes, Wetlands and the Coast

Policy 8.2.3.21

To protect historic and cultural sites in riparian margins and the coastal environment.

24. The activity is inconsistent with New Zealand Coastal Policy Statement Objective 3, Policy 2 and Policy 17, as follows:

NZCPS Objective 3

To take account of the principles of the Treaty of Waitangi, recognise the role of tangata whenua as kaitiaki and provide for tangata whenua involvement in management of the coastal environment by:

- *recognising the ongoing and enduring relationship of tangata whenua over their lands, rohe and resources;*
- *promoting meaningful relationships and interactions between tangata whenua and persons exercising functions and powers under the Act;*
- *incorporating mātauranga Māori into sustainable management practices; and*

⁵ Wāhi taonga tuku iho encompass many aspects of cultural heritage, including (but not limited to) traditional pā sites, kāinga and urupā. Popoia Te Ao Tūroa | The Ngāti Rārua Environmental Plan, Section 8.

- *recognising and protecting characteristics of the coastal environment that are of special value to tangata whenua.*

NZCPS Policy 2 – The Treaty of Waitangi, tangata whenua and Māori heritage

In taking account of the principles of the Treaty of Waitangi (Te Tiriti o Waitangi), and kaitiakitanga, in relation to the coastal environment:

- (a) recognise that tangata whenua have traditional and continuing cultural relationships with areas of the coastal environment, including places where they have lived and fished for generations;*
- ...*
- (c) with the consent of tangata whenua and as far as practicable in accordance with tikanga Māori, incorporate mātauranga Māori in ... the consideration of applications for resource consents ...;*
- (d) provide opportunities in appropriate circumstances for Māori involvement in decision making, for example when a consent application or notice of requirement is dealing with cultural localities or issues of cultural significance, and Māori experts, including pūkenga, may have knowledge not otherwise available;*
- ...*
- (f) provide for opportunities for tangata whenua to exercise kaitiakitanga over waters, forests, lands, and fisheries in the coastal environment through such measures as:*
 - (i) bringing cultural understanding to monitoring of natural resources;*
 - (ii) providing appropriate methods for the management, maintenance and protection of the taonga of tangata whenua;*

NZCPS Policy 17 – Historic heritage identification and protection

Protect historic heritage in the coastal environment from inappropriate subdivision, use, and development by:

- (a) identification, assessment and recording of historic heritage, including archaeological sites;*
- (b) providing for the integrated management of such sites in collaboration with relevant councils, heritage agencies, iwi authorities and kaitiaki;*
- ...*
- (g) imposing or reviewing conditions on resource consents and designations, including for the continuation of activities*

25. Carrying out the works described in the application without authorisation means that relevant matters of national importance in Part 2 of the RMA were not provided for, in particular sections 6(e) – *the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu, and other taonga*, and 7(a) – *kaitiakitanga*.
26. Ngāti Rārua requests that the application be declined.
27. We wish to be heard in support of this submission.

DATED 17 December 2024

Shane Graham



Pou Whakahaere | CEO
Te Rūnanga o Ngāti Rārua

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Appendix A – Kākā Point Statutory Area Crown Acknowledgement

Crown acknowledgement of the cultural, historical, spiritual and traditional associations that Ngāti Rārua have with Kākā Point and Kaitereterē Scenic Reserve Statutory Areas

For Ngāti Rārua, Kaitereterē derives great significance from the traditions associated with the area. Tūpuna considered Kaitereterē important enough to build a defensible pā on Kākā Point. Within the pā site, houses were built on terraces and food stored in pits. A series of ditches were constructed across the narrow area between the point and the mainland.⁶ Stone remnants indicate a wall existed on the outside of the ditch. It is likely that a series of banks and terraces were used to obstruct aggressors who were able to penetrate the outer wall. On the seaward sides of the pā, precipitous cliffs provided an excellent defensible natural barrier.⁷

Kākā Point Pā did not exist in isolation. Three associated undefended settlement sites were located to the south of Kaitereterē Inlet. Therefore, tūpuna living in the bay were able to retreat to the pā in times of threat. Although archaeological evidence suggests that the pā was the more permanent settlement site, traditionally, the whole area was significant for tūpuna.

The pā and associated papakāinga, fishing grounds and urupā are all signs of Māori cultivation and settlement of Kaitereterē. The large number of wāhi tapu reveal the importance of the area to tūpuna. Modified soils, middens, gardens, pits, stake holes, terraces and artefacts all indicate Kaitereterē was a permanent occupation site, a fishing camp and fish drying site.⁸

For tūpuna, Kaitereterē was integral to the seasonal movement between fishing grounds, inland cultivation sites and coastal forest resource harvesting areas. Kaitereterē also offered Māori travelling along the coast by waka or on foot a place to rest.

Although less fertile than the Motueka plains, Kaitereterē offered climatic attractions in sheltered spots – it may have been a preferred locality for certain crops. However, the principal attraction for tūpuna would have been access to the sea and its resources.⁹ Abundant shellfish hanging onto the rocks and plenty of seaweed to shelter fish provided tūpuna with an easily accessible food supply. In addition, the forested hills and lowland areas filled with toi toi and harakeke presented Māori with the materials needed to catch fish and build whare.¹⁰

Kaitereterē as a locality remains of great consequence to Ngāti Rārua as it provides valuable information on the customs and traditions practised by tūpuna over time. The protection of Kākā Point, associated wāhi tapu sites and other taonga is therefore paramount – guardianship of the area is integral to the cultural wellbeing of present day whānau.

⁶ D Alexander, Kaiteriteri, A Report for Tainui Taranaki ki te Tonga Commissioned by Crown Forestry Rental Trust, March 2010:5.

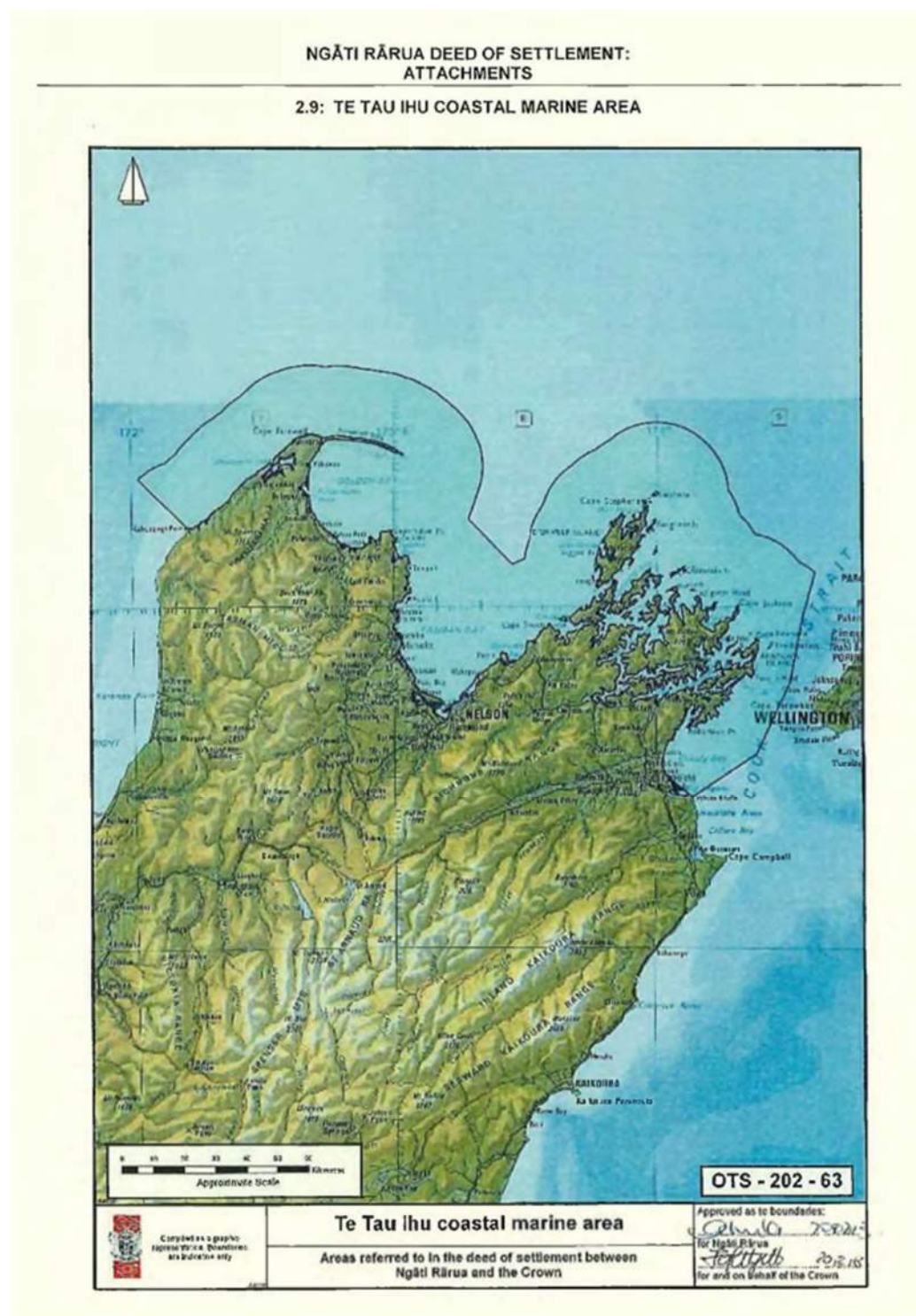
⁷ B Brailsford, The Tattooed Land, Stoneprint Press, New Zealand 1997:85.

⁸ D Alexander, Kaiteriteri, A Report for Tainui Taranaki ki te Tonga Commissioned by Crown Forestry Rental Trust, March 2010:5.

⁹ Ibid p 5.

¹⁰ Ibid p 7.

Appendix B – Te Taihu Coastal Marine Statutory Area Map & Crown Acknowledgement



Crown acknowledgement of Ngāti Rārua associations with the Te Taihu coastal marine area

The coastal marine area of Te Taihu is of immense historical, traditional and cultural significance to Ngati Rarua. The relationship of iwi with the coastline and associated resources is as important to present day whanau as it was to our tupuna. This connection is due to many reasons, such as the creation purakau, the length of occupation, the abundance of natural resources and the ancient coastal trails across Te Taihu.

Oral traditions passed down through generations emphasise the importance of coastal Te Taihu to Ngati Rarua. The name Te Taihu o Te Waka a Maui relates to the legend of Maui Tikitiki-a-Taranga (Maui), famous for having fished up or discovered islands across the Polynesian Pacific. In this legend, Maui was travelling with his brothers in the southern ocean. With his fish hook fashioned from his grandmother's jawbone, incantations, karakia and supernatural powers, Maui and his brothers were able to haul a massive fish to the surface - Te Ika a Maui. The battle Maui had with this giant fish created the giant sand dunes near the southern end of Onetahua. Another tradition refers to Ngahue, the atua of pounamu and his taniwha Poutini. The places where Poutini made landfall along the coast of Te Taihu became important geological resources areas for tupuna.

Traditionally, sea travel was an integral part of life. Significant places on waka journeys were often the subject of Ngati Rarua superstition, waiata and purakau. Nga Whatu Kai Pono (The Brothers) for example, are regarded as tapu because of the atua residing there. Karakia were recited to ensure that waka could safely pass these rocky islets. It was also customary for new-comers crossing the Sea of Raukawa for the first time, to veil their eyes when approaching Nga Whatu Kai Pono in order not to affront the atua living there. In addition, the mana of Nga Whatu Kai Pono is illustrated in an old Maori waiata and "Pao". The song, composed by a young woman named Tuhupu, refers to the sacred crags of Nga Whatu Kai Pono and to the Ngati Rarua rangatira, Hetaraka Patutahi.

Ngati Rarua tupuna had considerable knowledge associated with coastal Te Taihu. Whanau were dependant on the coast for their physical and spiritual wellbeing. Accordingly, the tikanga and matauranga which guided the way in which resources were harvested was a central part of daily life.

Mauri is the basis of the relationship Ngati Rarua has maintained with coastal marine resources for generations. It is mauri that binds the physical and spiritual elements together, generating and upholding all life. Therefore, upholding the mauri of the coastal environment is paramount for Ngati Rarua.

Coastal trails, kainga sites and associated kaimoana resources were an integral part of life. Fishing camps, such as Rakopi (Whanganui Inlet) and Manuka Island (Wakatu) were associated with tauranga waka - sea trails linked to land trails. The coast was a major highway and trade route, especially in areas where it was easier to travel by sea than by land, such as Te Tai Tapu and Te Matau. Therefore, many tauranga waka exist along coastal areas of Te Taihu.

Traditional life was mobile and therefore travelling in search of resources was fundamental to iwi survival. Knowledge of the coastal environment and associated seasonal resources and weather patterns supported travel and the collection of food and materials; this knowledge has been passed down from tupuna to current generations.

Another indicator of the significance of coastal Te Taihu to Ngati Rarua are the numerous urupa found across the rohe. Urupa are sacred - they are a link between the past and present. Resting places of the ancestors, urupa are wahi tapu and the focus of whanau traditions. Urupa hold the history and stories of traditional life, making them central to the lives of Ngati Rarua whanau.

The importance of Te Taihu coastline and associated marine life to Ngati Rarua cannot be overstated - this relationship is reflected in the numerous "named" sites/areas of significance across the rohe. For example, prominent coastal features include: Kahurangi Pt, Onetahua, Separation Point (Te Matau), and Keparatehau. Places which became key settlements and valuable harvest areas include: Kaiteriteri, Motueka, Waimea and the Wairau Bar. In addition, wahi tapu such as battle sites and urupa were also given names.

Since the early 1800s, Ngati Rarua whanau have made seasonal journeys to harvest from "food baskets" across Te Taihu - to collect mahinga kai, rongoa and other natural materials. Te Tai Tapu, Whanganui Inlet, Waimea Inlet and

the Wairau Lagoon are examples of food gathering areas which were highly valued by tupuna. Ngati Rarua whanau and hapu would settle or relocate their villages to harvest from such “food baskets”. Everyone had different tasks. Some would go fishing, while others would collect shellfish, snare birds or collect plant materials from around the estuary and associated lowland forests.

Whanau and extended whanau gatherings occurred frequently, depending on seasonal resources available for harvest from land and sea. These harvests were an opportunity to renew social and familial ties, but large numbers were also needed to carry out the tasks associated with the harvest. For example, many hands were needed to deal with the catches to ensure they were safely preserved for long-term consumption.

There is no doubt about what attracted Ngati Rarua to Te Taiuhu - almost every type of kai Maori nō te moana could be found along the coast. Numerous estuaries and inlets were havens for marine life. The estuaries, beaches and offshore islands of Te Taiuhu provided tupuna with a bountiful supply of marine mammals, sea birds, shell fish and plant life.

Marine mammals such as whales and seals were harvested by tupuna. Whales are a highly valued taonga - a gift from Tangaroa. Such a precious gift could not be wasted, so traditionally every part of a beached whale was used. The oil was collected for fuel, the flesh was used for food, and the bones and teeth made into weapons and carved into precious ornaments. The plentiful supply of seals provided tupuna with meat; their skins were cleaned and sown together for a range of uses.

The estuaries and inlets across Te Taiuhu are home to a huge number mataitai (shellfish), papaka (crabs) and other invertebrates. In the mud and sand, tupuna collected tuangi (cockles), pipi, tuatua, pupu, kutai (mussels) and tio (rock oysters); from the rivers and streams Tnanga, tuna and kokopu were harvested. In the breeding season, tamure (snapper), kanae (mullet), herrings, patiki (flounder) and sole, mango (sharks), kahawai, southern mackerel, koiro (conger eels), piharau (blind eels) and warehou were caught.

Estuaries such as the Waimea and Whanganui Inlet provide an ideal habitat for birdlife and are therefore rich in bird species; some fly from as far as Siberia to feed from the prolific mahinga mataitai across the rohe. Wading birds, such as the godwit, oystercatcher and the banded rail come to the estuaries for food and shelter. Traditionally, birds were harvested by tupuna for a range of uses, including the use of their feathers for decorating garments.

Saltmarsh communities fringe the shoreline and eelgrass beds dominate the tidal flats. Dunes, cliffs, islands and underwater reefs contribute to the numerous habitats and species found within coastal Te Taiuhu.

Traditionally, much of Te Taiuhu was bordered by coastal forest including pukatea, rata, kahikatea, beech, rimu and nikau palm. Land based resources were gathered, harvested or quarried on traditional whanau trips. Plants for weaving, such as aka (supple jack) were harvested for crayfish pots, hinaki for eeling and for other weavings. Swamps provided thousands of hectares of tough harakeke for whariki (mats). Ngati Rarua tupuna built whare at the mouth of the Waimea River in order to harvest the plentiful supply of harakeke growing there. Kiekie fruits were a delicacy, as were hinau berries and other fruit trees. Long straight stands of hinau and lance-wood provided exceptionally strong shafts for fishing spears, spars and poles.

Te Taiuhu coastal marine environment has sustained Ngati Rarua for generations. The livelihood and wellbeing of tupuna depended on their ability to hunt and gather food and other natural resources from the coastal environment. Te Taiuhu is steeped in history - abundant wahi tapu and other taonga link present day iwi physically and spiritually to their tupuna. Therefore, the maintenance of customs and traditions associated with the coast is paramount to Ngāti Rāua.

Lynda Cross

From: Rowena Cudby | Pou Whakamāherehere <rowena.cudby@ngatirarua.iwi.nz>
Sent: Tuesday, 17 December 2024 12:35 pm
To: Resource Consent Admin
Cc: tayla@planscapes.co.nz
Subject: RM24000 Tipple Family Trust - Ngati Rarua Submission
Attachments: RM24000 Tipple Family Trust Ngati Rarua submission 17.12.2024.pdf

Categories: Lynda to deal with

Kia ora

Please find attached the Ngāti Rārua submission to the above application for resource consent.

Nāku iti nei, nā
Rowena Cudby

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To: The Resource Consent Administration Officer
Tasman District Council
Private Bag 4
Richmond 7050
Email: resourceconsentadmin@tasman.govt.nz

Submission on Resource Consent Application

PLEASE ENSURE THAT ALL SECTIONS OF THIS FORM, ON BOTH SIDES, ARE COMPLETED.

Please note: all submissions become public documents. If the application requires a hearing, your submission may be published on the council's hearings page, including your name and contact details.

Personal information will also be used for administration purposes, including notifying submitters of hearings and decisions. All information will be held by the Tasman District Council with submitters having the right to access and correct personal information.

Submitter Details

Full Name:	Michael Clements		
Contact Person (if different):			
Address for Service:	523a Waimea Road Nelson		
Postcode:	7011		
Phone:	<input type="text"/>	E-mail:	<input type="text"/>

Submission Details

This is a submission on the following application for resource consent lodged with the Council:

This is a submission on an application from: (Name of Applicant):

For a resource consent to: (details can be found on the notice in the letter from Council, newspaper, website or on-site)

Tasman District Council Application Number (if known): RM

1) The specific part(s) of the application that my submission relates to is/are (Give details*):

The erection of a timber deck closer to the boundary and intrusion of daylight angle of 36 Kaiteriteri- Sandy Bay Road, Kaiteriteri. Access steps to beach over road reserve and cultural land without lwi, Heritage, Building Consent and Resource Consent. A timber pole retaining wall on boundary between properties #36 & #38 to drive access and parking area which is unconsented and no engineering details available. Refer to Figure 1 site location photo included in N01 Revised FINAL application.

* Note: Any additional information should be submitted on a separate sheet(s).

2) The reasons for my submission are (Give details*):

This activity has been a blatant disregard to the Building Act and The Resource Consent process.
The applicant has stated that he was ignorant of the processes and is now trying the oldest trick in the book and asking for forgiveness. His ignorance can be disproved by statements in his application in the way of the correspondence from Geotechnical Investigation Report Reference CN367 dated 20/12/2021 item 8.6. Reference to requirement of the building consent, noting the work was carried out in December 2022. Also his reference to note knowing about the road reserve and cultural land, I would draw your attention to the title attached to his application, NL2B/1375 dated 09/05/23 that clearly shows these items and it is inconceivable that a person would purchase a property and not look at site or the title and have no understanding of this land. Photo figure #9 in the N01 Revised Final application(1), pdf clearly shows the loss of privacy to #36 front yard. Note that this has caused #36 building consented plans to have design change to remove skylights in the roof sections because of loss of privacy at their expense.

*Note: Any additional information should be submitted on a separate sheet(s).

3) The nature of my submission is that: (Tick one of the following three boxes):

I support the application I oppose the application I am neutral regarding the application

4) The decision I would like the Council to make is (Tick one of the following two boxes):

To grant consent To refuse/decline consent

If consent is granted, I wish the council to impose the following conditions

(Note: you do not have to suggest conditions, particularly if you want the council to refuse consent):

The remedy for this situation is to have the offending deck structure removed back to where this can be built without obtaining a resource consent. Stairs to the beach removed completely with no access to beach from this site. Timber retaining wall on boundary between #36 & # 38 to have intensive engineering investigation to confirm that the wall is not a threat to the stability of #36. Alan Dibanh LBP105815 who has produced the record of works needs to be sanctioned for carrying out work that is not consented. Monetary fines imposed on to the owners of property in accordance with the severity of non compliance as determined by the Building & Resource Consent Acts.

Please bear in mind that there has been, in the last two years, an incredible amount of high value construction carried out in this region, of which they have all obtained and paid for their appropriate consents.

*Note: Any additional information should be submitted on a separate sheet(s).

5) Attendance at any Council Hearing (You must tick one of the following two boxes):

I wish to be heard in support of my submission I do not wish to be heard in support of my submission

Note: If you indicate that you do not wish to be heard, you will still receive a copy of the Council's decision but you will not receive a copy of the hearing report if a hearing is held.

Print Full Name:

Signature*: 
(Person making submission or authorised agent)

Date:

*Note: A signature is not required if you make your submissions by electronic means.

A copy of this submission MUST also be sent to the applicant as soon as reasonably practicable after serving a copy on the Council.

To: The Resource Consent Administration Officer

Tasman District Council
Private Bag 4
Richmond 7050



tasman
district council

Te Kaunihera o

te tai o Aorere

Email: resourceconsentadmin@tasman.govt.nz

Submission on Resource Consent Application

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Submitter Details

Full Name:

Contact Person (if different):

Address for Service:

Postcode:

Phone:

E-mail:

Submission Details

This is a submission on the following application for resource consent lodged with the Council:

This is a submission on an application from: (Name of Applicant):

For a resource consent to: (details can be found on the notice in the letter from Council, newspaper, website or on-site)

Tasman District Council Application Number (if known): RM

1) The specific part(s) of the application that my submission relates to is/are (Give details*):

* Note: Any additional information should be submitted on a separate sheet(s).

2) The reasons for my submission are (Give details*):

I DO NOT BELIEVE THEY DID NOT KNOW A CONSENT IS REQUIRED. HE IS A BUSINESSMAN & SHOULD KNOW BETTER THE NON COMPLIANCES ARE NOT MINOR ~~THE~~ ~~THEY~~ SHOULD BE MADE TO TAKE DOWN WHAT THEY HAVE DONE & THEN APPLY FOR SOMETHING THAT COMPLIES (AN EXAMPLE SHOULD BE MADE YOU SHOULD ALSO LOOK AT THE CARAVANS ON SITE & SEE IF THEY ARE NOW PERMANENT AS THEY NEVER MOVE

*Note: Any additional information should be submitted on a separate sheet(s).

3) The nature of my submission is that: (Tick one of the following three boxes):

- I support the application I oppose the application I am neutral regarding the application

4) The decision I would like the Council to make is (Tick one of the following two boxes):

- To grant consent To refuse/decline consent

If consent is granted, I wish the council to impose the following conditions

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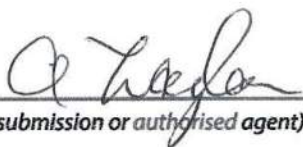
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Print Full Name: ANDREW TAYLOR

Signature*: 
(Person making submission or authorised agent)

Date: 10/1/25



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Submitter Details

Full Name: PHILIPPA ROSEMARY TAYLOR

Contact Person (if different): "

Address for Service: 64B ROWLING RD
R.O.2
MOTUEKA

Postcode: 7197

Phone: [REDACTED] E-mail: [REDACTED]

Submission Details

This is a submission on the following application for resource consent lodged with the Council:

This is a submission on an application from: (Name of Applicant): D, T, M TIPPLE

For a resource consent to: (details can be found on the notice in the letter from Council, newspaper, website or on-site)

RETROSPECTIVE CONSENT
38 KAITERITERI SANDY BAY RD
KAITERITERI

Tasman District Council Application Number (if known): RM 240000

1) The specific part(s) of the application that my submission relates to is/are (Give details*):

ALL

* Note: Any additional information should be submitted on a separate sheet(s).

2) The reasons for my submission are (Give details*):

I do not approve a retrospective consent. I cannot accept that the Applicants did not realise or were confused about what they were allowed by TOC to build on the site. The deck and stairway does NOT comply with 4 permitted activity conditions of the TOC. They have built the ~~deck~~ deck too close to several boundaries and it is oversized. Furthermore it gives them their own private access to the beach. It is a breach of the regulations.

*Note: Any additional information should be submitted on a separate sheet(s).

3) The nature of my submission is that: (Tick one of the following three boxes):

- I support the application
- I oppose the application
- I am neutral regarding the application

4) The decision I would like the Council to make is (Tick one of the following two boxes):

- To grant consent
- To refuse/decline consent

If consent is granted, I wish the council to impose the following conditions

(Note: you do not have to suggest conditions, particularly if you want the council to refuse consent):

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Print Full Name: PHILIPPA ROSEMARY TAYLOR

Signature*: 
(Person making submission or authorised agent)

Date: 11/1/2025



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Submitter Details

Full Name:	John McConchie & Yvonne Codde		
Contact Person (if different):	Yvonne Codde		
Address for Service:	P O Box 5109 Nelson		
Postcode:	7040		
Phone:	<input type="text"/>	E-mail:	<input type="text"/>

Submission Details

This is a submission on the following application for resource consent lodged with the Council:

This is a submission on an application from: (Name of Applicant):

For a resource consent to: (details can be found on the notice in the letter from Council, newspaper, website or on-site)

Site address: 38 Kaiteriteri Sandy Bay Road, Kaiteriteri
Legal Descriptions: Lot 2 DP 7124 and unformed legal road
Record of Title: NL2B/1375

Tasman District Council Application Number (if known): RM

1) The specific part(s) of the application that my submission relates to is/are (Give details*):

Residential Zone
Open Space Zone
Heritage Precinct Rules
Land Disturbance Rules
Road Area Rules
Coastal Environment Rules

* Note: Any additional information should be submitted on a separate sheet(s).

2) The reasons for my submission are (Give details*):

Due to non conformance with the above rules and apparent disregard for the TDC residential building standards, and consenting processes and resource management which must apply to protect all land owners and neighbours.

Retrospective approval would not only make a mockery of all of the TDC rules and processes but would also set a precedent for future property owners & developers to do as they please.

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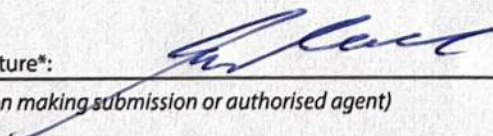
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Richmond 7050



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district council

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te tai o Aorere

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Tasman District Council Application Number (if known): RM

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HERITAGE NEW ZEALAND
POUHERE TAONGA

Tairangahia a tua whakarere;
Tatakihia ngā reanga ō āmuri ake nei
Honouring the past; Inspiring the future

21 January 2024

File ref:

Tasman District Council
Private bag 4
Richmond 7050

resourceconsentadmin@tasman.govt.nz

Kia ora

RESOURCE CONSENT FOR DECK AND STAIRCASE – TIPPLE – RM240000

Heritage New Zealand Pouhere Taonga (HNZPT) is submitting in opposition to the retrospective resource consent application by D, T and M Tipple for a deck and staircase constructed at 38 Kaiteriteri Sandy Bay Road, Kaiteriteri.

The specific parts of the application this submission relates to:

The construction of a substantial structure in an area known to have significant cultural and historic values, without regard to proper process or consultation. The site is adjacent to a well-known Pā site and wāhi tapu. Prior to construction of the structure there was no engagement with iwi, or with Heritage New Zealand Pouhere Taonga (HNZPT).

The reasons for the submission:

It is regrettable that the applicant did not follow proper process in obtaining the necessary consents prior to construction. As well as building consent and resource consent, in this location an archaeological assessment is necessary for any activity disturbing the ground.

The assessment of a professional archaeologist determines the likelihood of encountering any archaeological material. This assessment would include a recommendation whether or not an archaeological authority is required. In this case no assessment was undertaken, and the work went ahead without an authority.

It is important to note that the absence of a recorded archaeological site does not mean that no archaeology is present; it is simply an indication that the particular location has not been subject to an archaeological assessment.

It is uncertain if any archaeology was encountered when the structure was being built, as no experienced archaeologist or cultural monitor was present to view the work and interpret what was being disturbed.

The nature of the submission:

Heritage New Zealand Pouhere Taonga opposes the application.

The decision we want the council to make

HNZPT is neutral on the decision the council will make.

If the council's decision is to decline consent, the applicant will need to commission an archaeological assessment to determine the likelihood of further disturbance of archaeological material as the structure is removed.

HNZPT does not wish to be heard at any council hearing on this consent application.

Ngā mihi



Dean Raymond

Area Manager / Kaiwhakahaere
Central Region / Te Takiwā o Te Pūtahi a Māui
Heritage New Zealand Pouhere Taonga

Lynda Cross

From: Dean Raymond <DRaymond@heritage.org.nz>
Sent: Tuesday, 21 January 2025 11:25 am
To: Resource Consent Admin
Subject: Tipple staircase resource consent submission
Attachments: Tasman DC Form for submission on resource consent application.pdf; HNZPT submission on Tipple staircase, Kaiteriteri.pdf

Categories: Lynda to deal with

Kia ora

Please find attached submission from Heritage New Zealand Pouhere Taonga on the application for resource consent for stairs/deck structure at Kaiteriteri (RM240000).

I will also serve a copy of this submission on the applicant.

Ngā mihi,

Dean Raymond | Kaiwhakahaere ā Takiwā / Area Manager | Te Takiwā o Te Pūtahi a Māui / Central Region |
Heritage New Zealand Pouhere Taonga | P O Box 2629 | Level 1, 79 Boulcott St | Wellington 6140 | Ph: (64 4)
494-8320 | Mobile: 027 350 9875 |

Tairangahia ā tua whakarere; Tātakihia ngā reanga o āmuri ake nei – Honouring the past; Inspiring the future

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To: The Resource Consent Administration Officer
Tasman District Council
Private Bag 4
Richmond 7050



tasman
district council

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Submission on Resource Consent Application

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Full Name:

Contact Person
(if different):

Address for
Service:

Postcode:

Phone:



E-mail:

Submission Details

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For a resource consent to: *(details can be found on the notice in the letter from Council, newspaper, website or on-site)*

Tasman District Council Application Number (if known): RM

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2) The reasons for my submission are (Give details*):

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I oppose the application

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To refuse/decline consent

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Signature*:

Date:

(Person making submission or authorised agent)

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Contact Person
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Tasman District Council Application Number (if known): RM

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2) The reasons for my submission are (Give details*):

**Note: Any additional information should be submitted on a separate sheet(s).*

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I support the application

I oppose the application

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2025-01-16

Resource Consents Administration Officer
Tasman District Council
Private Bag 4
Richmond 7050

By email: rcadmin@tasman.govt.nz

Dear Sir / Madam,

RM240000: SUBMISSION ON PUBLICLY NOTIFIED APPLICATION – TIPPLE STAIRCASE

This is a submission on a publicly notified resource consent application RM240000 by D Tipple, T Tipple and M Tipple (the **Applicant**) for the construction of a deck and staircase at 38 Kaiteiteri Sandy Bay Road (the **Site**). The application (as per the table below) is hereinafter referred to as the **Tipple Deck and Staircase**.

Applicant Details	Submitter Details
D Tipple, T Tipple, M Tipple C/- Planscapes (NZ) Limited PO Box 99 Nelson Attn: tayla@planscapes.co.nz	Jason and Melissa Everett 20 Torlesse Drive Kaiteiteri Tasman 7197 [REDACTED]

Procedural Matters:

- A copy of this submission has been served on the Applicant.
- We can not gain an advantage in trade competition through this submission, nor does this submission relate to trade competition or the effects of trade competition.
- This submission is made in **Opposition** to RM240000.
- We do not wish to be heard in support of its submission.
- We do not wish to present a joint case on any supporting submission that seeks to be heard.

The specifics of this submission follow:

Our relationship to the Site

My family and I regularly rented the neighbouring property at 36 Kaiteiteri Sandy Bay Road (owned by Mr D and Mrs J Lucas) for several years between 2018 until 2023. This was during the summer months, typically over the Christmas and New Year period. It is noted that this was both prior to and after the construction of the Tipple Deck and Staircase, which was built sometime in 2022.

Quality and Content of the Application

Assessment of Effects on the Environment (AEE)

The AEE report prepared by Planscapes NZ Ltd, in our opinion, should never have passed an initial section 88 review by TDC. We consider that there are fundamental pieces of information missing from the application that do not enable a complete understanding of the actual and potential effects of the Tipple Deck and Staircase to be had by potentially affected parties.

The AEE does not provide a clear understanding of the adverse effects arising from the construction and development of the deck and staircase, including on the property of 36 Kaiteiteri Sandy Bay Road, the public, given the occupation of a public area, and iwi (who have provided comments on this matter separately). Furthermore, no assessment is made in relation to effects on natural character, which is particularly important given its coastal environment.

Several additional reasons for consent were identified by the processing planner. No further assessment was provided or requested with the change of activity status (from Restricted Discretionary within the Application to

Discretionary within the Notification Decision). The application does not provide an assessment of the additional non-compliances, including providing an updated assessment of effects resulting from these. Due to this it is difficult to interpret the adequacy of the AEE, and its determination of the extent of adverse effects.

In addition, the application does not provide an assessment against the matters set out in Schedule 4, Clause 2(1) and section 104 of the Resource Management Act 1991 (**RMA**) in that it does not specify and evaluate the activity against any relevant provisions of a National Policy Statement or National Environmental Standard (in particular the New Zealand Coastal Policy Statement). It is not the role or responsibility of a Council reporting planner to do that assessment for the Applicant when processing a resource consent application, nor for a submitter to now be expected to do the same. This is a clear gap within the application submitted.

In regards to Schedule 4, Clause 2(2) of the RMA, an application must include an assessment of the activity against any relevant objectives, policies, or rules, which in this case is the Tasman Resource Management Plan (**TRMP**). The AEE contains a general assessment of objectives and policies against Chapters 5 – Site Amenity Effects, 6 – Urban Environment Effects and 8 – Margins of Rivers, Lakes, Wetlands and the Coast of the Tasman Resource Management Plan (TRMP) at Table 2, Pages 14-16. However, this application is not complete; it does not consider relevant objectives and policies of the TRMP in Chapters 9 – 14 – Reserves and Open Space which we consider are directly relevant to the application.

Finally, pursuant to Schedule 4, Clause 2(1)(f) of the RMA, an AEE must include an assessment of the activity against the matters set out in Part 2. However, the AEE merely lists relevant matters of national importance (section 6 of the RMA), but does not provide an assessment of the activity against these. Further, the AEE does not contain an assessment against the purpose of the RMA, being the management of natural and physical resources, nor does it provide an assessment against section 7 and 8 of the RMA. This is a clear omission within the AEE.

Drawings

The drawings provided as part of the application are lacking in detail and do not provide a clear understanding of the activity. Further detail is required to understand the extent of the boundary infringements and other non-compliances with the TRMP.

In addition, the site boundary is shown on the drawings, which are dated 2022. It is unclear when these drawings were produced, either before or after construction commenced. If prepared before, the property boundary between the Site and 36 Kaiteriteri Sandy Bay Road is clearly shown. This contradicts the comment in the AEE, which states that 'the Applicant was unaware of the location of the property boundary, which has never been formally defined with a fence or other structure'.

Geotechnical Assessment

While I am not a geotechnical specialist (nor have I engaged one) and I am not seeking to submit geotechnical evidence, the geotechnical assessment (Geotechnical and Structural Deck Commentary, prepared by GM Designs) provided is unacceptable, and is out of scope for what can be reasonably commented upon in a geotechnical assessment. The assessment includes the following comments;

- *We cannot see any technical reason why the sun deck could not remain after removing the roofed sundeck structure off the deck and the foliage placement to act as a screen for the deck itself. Once undertaken, increasing any setback that may be considered of the deck from the boundary would achieve minimal visual effect, as there is a lack of perspective when viewed from the beach some 10.5m below [p. 9-10].*
- *The proposed lease or purchase of the denoted paper road would best be dealt with by the Crown Land Office. The placed stairs can be painted from their current brown to a dark monument green colour, and further planting can be undertaken to minimise any visual objections. There are many examples where transversed crown land exists, and access over ground land is an accepted reasonable request for access to a beachfront. I believe an acceptable modification could be undertaken in the interests of all parties in this situation [p. 10]*
- *The rights of owners subject to street boundary frontage guidelines should be considered similarly to those of the fire controls where they apply to the far side of the roadway; in this situation, on the East frontage, there exists a paper roadway where the Crown can allow such a deviation, lease or sale to private owners. This would then see the Tasman Bay Planning restrictions placed to one side, allowing the current deck to stay as is, pending the required land stabilisation, plantings to screen any visual*

aspects and the status quo left as is to continue subject to the removal of the roofed structure off the deck. [p. 10]

These comments do not form part of a geotechnical assessment, nor are they appropriate to be provided by a geotechnical specialist. A geotechnical specialist is not a planner, landscape architect, property expert or lawyer and any comments within this field are out of scope of the realm of a geotechnical specialist. It is requested that these comments are disregarded and left to the appropriate specialists.

Actual and Potential Effects on the Environment

Visual Effects and Effects on Privacy and Overlooking

The AEE provided as part of the application continually discusses the difference in height/elevation between the two properties (being 36 and 38 Kaiteriteri Sandy Bay Road), and the existing vegetation that is within the hill slope, with these elements contributing to a visual barrier through screening. However, from our experience of the property, and the changes that were presented when the deck was constructed differ from this.

The construction of the Tipple Deck and Staircase significantly altered the privacy and overlooking of the property at 36 Kaiteriteri Sandy Bay Road. It was during the final year of renting, that we noticed a significant increase in noise and lack of privacy, arising from use and occupation of the deck and staircase. As presented within the AEE itself (Figures 9 and 11), the deck has very clear viewpoints into the neighbouring yard and house from several angles. This has contributed to a lack of privacy and has affected the enjoyment of the outdoor living area of 36 Kaiteriteri Sandy Bay Road.

Furthermore, it is noted that while the existing vegetation may block some views and privacy concerns, there are no requirements that this vegetation is retained or maintained to a certain level. It is not fanciful to assume that the Tipples will trim the vegetation to maintain the views or retain sun capture. Rather, it is very likely this would be the case. Therefore, while the construction of the deck has '*creating a sunny and private outdoor living space for the dwelling*' (AEE, Table 3), this has not retained the same privacy for 36 Kaiteriteri Sandy Bay Road.

Effects on the Paper Road

The Application seeks consent for a structure/building within a paper road/unformed legal road. A paper road/unformed legal road is an area of land that have been legally designated as a road or road reserve but have not yet had a road constructed. A paper road/unformed legal road can be 'stopped' which would enable the sale of unformed legal road for private use. Road stopping is a formal legal process which removes the legal status of 'road', and the land becomes freehold (fee simple) land, enabling it to be sold.

However, an application for a Road Stopping has not been made, nor has it been discussed within the Application. The application states '*It is extremely unlikely that is site will ever be developed by Council to a legal road.*' (Table 2). However, this is not a call for the Applicant or their planner to make. The forceful occupation of a paper road/unformed legal road does not constitute an application for a road stopping. Private use of a paper road/unformed legal road should not be permitted. We are concerned that if a consent was to be granted, this would set a precedence allowing private use through forceful occupation. This is unacceptable.

Furthermore, the occupation of a paper road/unformed legal road, impacts the ability for TDC to utilise the road area for reasonable public safety improvements, including site and public access, slope stability, the coastal environment and public safety.

Cultural and Archaeological Effects

The Application does not provide an assessment on cultural or archaeological matters, including an assessment on the activity's effects on cultural and archaeological values. Construction was undertaken without regard to the cultural heritage precinct status or the cultural significance of the site. Furthermore, while comments and feedback from Iwi has been provided with the application, the AEE does not provide a response to these, nor does it seek to address or remedy the matters raised. Cultural Impact Assessments have not been sought or provided, which is wholly concerning.

As such, we are concerned that if a consent was to be granted, again a precedence is set which allows works to occur without the important guidance of Iwi and Heritage New Zealand Pouhere Taonga.

Ecological Effects

No assessment is provided within the AEE on ecological effects. Of particular relevance, it is unclear if and/or how much vegetation was cleared by the Applicant for the construction of the Tipple Deck and Staircase. As

such, it is unclear that if any vegetation was removed, what the implications of this are. There is the potential that the removal of vegetation could give rise to ecological effects (Terrestrial Habitats, Flora and Fauna) or further increase slope instability. Further information and assessment is required to understand the level of effect. \

Summary

Overall, we consider that the application as presented seeks to enable an activity with More than Minor/Significant adverse effects on the environment. In addition, further information is required to ensure a thorough and complete assessment is undertaken.

General Commentary

It is noted in the Applicant's own AEE report that "*the applicant is apologetic around a lack of understanding of the consent process this structure*". This is unacceptable. A simple Google search indicates that the Applicant (in particular Mr D Tipple) is the owner of the 'Gun City' retail chain and has frequently been in the news (due to community opposition) regarding resource consents required for 'Gun City' retail stores and associated signage – in Napier and the Christchurch Megastore I are just two examples. A retrospective application by the Applicant for resource consent is representative of a complete disregard of a known resource management system, and a lack of due diligence in relation to this specific structure.

Additionally, through the renting of 36 Kaiteriteri Sandy Bay Road, my family and I witnessed several behaviors of Mr D Tipple and his family that had a complete disregard for all neighbours and public and environmental safety. The following are examples of this;

- Personal Digger on Kaiteriteri Beach
 - During the Christmas/New Year Period, Mr D Tipple operated and stored a personal digger on the beach. Everyday, the digger was utilised to dig a hole and block the water pipe that discharges spring water onto the beach. This would create a dam, blocking the water discharge, effectively creating a pool. While it is recognised that children regularly build dams against this pipe these are washed away during high tide. However, to the size of the digger and the ability to build a larger wall, this would not wash away, and caused a severe blockage to the discharge. We ended up having to open the dam up at the end of the day. During this time, a representative of the Kaiteriteri Reserves Board came to enquire about the digger and its use. When questioned, members of his family (Mr D Tipple's adult children) denied it was theirs, and stated they didn't know who it belonged to. When further enquires were made, they admitted it might be their father, but weren't sure. After further reminders and requests for it to be moved, the digger was finally removed from the beach.
- New Year Fireworks
 - On New Year's Eve in 2022, members of the Tipple family stood on the newly constructed deck, and set off fireworks late at night. These were purposely aimed at the beach, birds and boats moored in the harbour. This caused great concern, to the point where the police were called. This presented significant risks to people walking down the beach, who could not be seen as it was dark, endemic birds and private property (being the boats). It is noted that during this time, an area below the Site was cordoned off as a pair of resident oyster catchers had nested).

The above demonstrates a complete disregard to rules and common decency.

We are also aware that an abatement notice has been issued by TDC, which the Applicant has failed to comply with.

Although the Applicant's conduct is not a RMA matter, we consider that TDC should reconsider the impact the abatement notice has had on the effort the Applicant is putting into remedying the staircase, and proceed taking the Applicant through the Environment Court enforcement process.

In addition, due to the above, we are concerned that should a resource consent be granted as a result of this process, any conditions imposed on a consent will not be implemented or abided by.

Closing

Based on the above, we consider that granting consent to the Tipple Deck and Staircase would enable adverse effects which are More than Minor/Significant, and which cannot be appropriately or adequately avoided, remedied or mitigated.

On this basis, **we seek that TDC decline the consent in its entirety.**

Yours faithfully,

A handwritten signature in blue ink, consisting of a large, stylized 'M' followed by a smaller 'E' and a short horizontal line.

Jason and Melissa Everett

A solid black rectangular redaction box covering the signature area.

To: The Resource Consent Administration Officer
Tasman District Council
Private Bag 4
Richmond 7050



tasman
district council

Te Kaunihera o

te tai o Aorere

Submission on Resource Consent Application

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Full Name:

Contact Person
(if different):

Address for
Service:

Postcode:

Phone:

E-mail:

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For a resource consent to: *(details can be found on the notice in the letter from Council, newspaper, website or on-site)*

Tasman District Council Application Number (if known): RM

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I support the application

I oppose the application

I am neutral regarding the application

4) The decision I would like the Council to make is (Tick one of the following two boxes):

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To refuse/decline consent

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Signature*:

Date:

(Person making submission or authorised agent)

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A copy of this submission MUST also be sent to the applicant as soon as reasonably practicable after serving a copy on the Council.



TE ĀTIAWA
O TE WAKA-A-MĀUI

Waikawa Marina, Beach Road
Waikawa, Picton
PO Box 340, Picton 7250
Ph : (03) 573 5170 / 0800 284 292
Fax : (03)573 5180
Email : office@teatiawatrust.co.nz
Website : www.teatiawatrust.co.nz

**TE ĀTIAWA O TE WAKA-Ā-MĀUI TRUST'S SUBMISSION TO D TIPPLE, T TIPPLE
AND M TIPPLE, RM 240000**

**Retrospective land use consent for a private deck and stairs on road reserve,
not meeting road setback for the Residential zone, and located within the
Coastal Environment Area (CEA), 24th January 2024.**

SUBMITTER INFORMATION

Name: Te Ātiawa o Te Waka a Māui Trust
Iwi / hapū: Te Ātiawa o Te Waka a Māui
Address: PO Box 340, Picton 7250
Email: renee@teatiawatrust.co.nz
Phone: (03)5735170
Contact: Renee Love (Kaitohutohu Taiao)

TABLE OF CONTENTS

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INTRODUCTION

1. This submission is made by Te Ātiawa o Te Waka-a-Māui Trust (Te Ātiawa Trust) on the D Tipple, T Tipple and M Tipple, RM 240000 - Retrospective land use consent for a private deck and stairs on road reserve, not meeting road setback for the Residential Zone, and located within the Coastal Environment Area (CEA).

Te Ātiawa ki Te Taihu, Te Ātiawa o Te Waka a Maui Trust – Ko wai mātou?

2. Te Ātiawa o Te Waka-a-Māui originate from Taranaki, migrating by Tokomaru waka to Te Taihu.
3. In the late 1820s, sections of Te Ātiawa o Te Waka-a-Māui migrated south and settled in Te Taihu o Te Waka-a-Māui (the Northern South Island) and established mana and rangatiratanga, acquired customary rights over whenua and moana at Tōtaranui (Queen Charlotte Sound), Kura te Au (Tory Channel), Waitohi (Picton), Anamahanga (Port Gore), Te Tai o Aorere (Tasman Bay), Whakatū (Nelson), Motueka, Mōhua (Golden Bay) and Te Tai Tapu (Whanganui Inlet).
4. By geographical choice and necessity, Te Ātiawa o Te Waka-a-Māui, are a coastal people. Significant cultural and spiritual values are placed on the foreshore, seabed, coastal and maritime waterways.
5. For Te Ātiawa o Te Waka-a-Māui, the history of occupation, participation, and engagement in the Rohe extends to present-day participation and engagement of traditional and contemporary practice, including opportunities for personal and commercial use that are offset by mitigation and enhancement measures. This is central

to the exercise of rangatiratanga (Te Ātiawa IEMP 2014)¹ and the inherited duty to ensure the sustainable management of the environment and associated taonga through the exercise of kaitiakitanga.

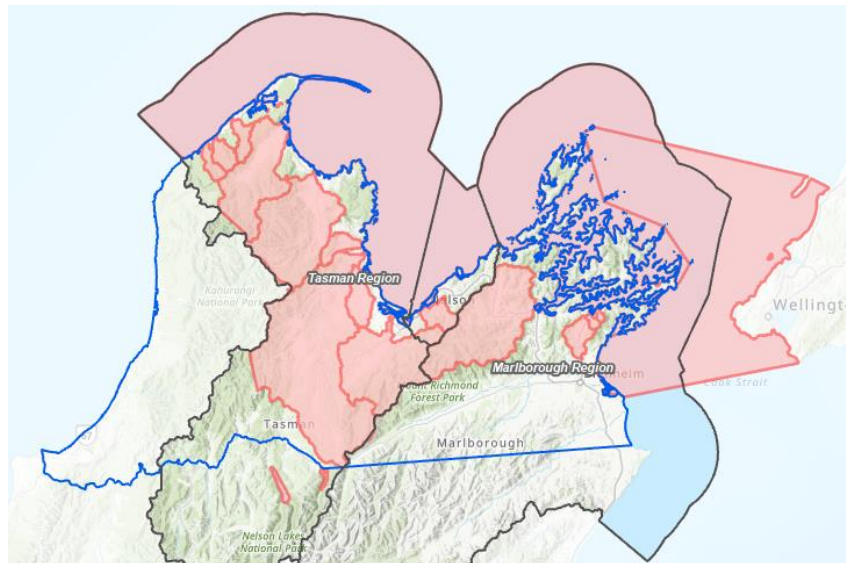


Figure 1. The Te Ātiawa o Te Waka-a-Māui Rohe is shown by the blue line, and the Statutory Acknowledgement Areas are highlighted in red (source: Te Tau Ihu Statutory Acknowledgements 2014)

6. Customary rights and interests of the Te Ātiawa o Te Waka-ā-Māui have been confirmed in Te Ātiawa o Te Waka-ā-Māui Deed of Settlement and legislated through the Ngāti Kōata, Ngāti Rārua, Ngāti Tama ki Te Tau Ihu, and Te Ātiawa o Te Waka-a-Māui Claims Settlement Act 2014.

CULTURAL IMPACTS

Whatungarongaro te tangata toi tu whenua

7. Te Atiawa o Te Waka-a-Maui exercises kaitiakitanga with the strongest customary authority over Kaiteriteri. Kaiteriteri is central to Te Atiawa o Te Waka-a-Maui identity,

¹ Te Ātiawa IEMP 2014. Te Ātiawa o Te Waka-a-Māui Iwi Environmental Management Plan. Published in August 2014 by: Te Ātiawa o Te Waka-a-Māui PO Box 340, Picton 7250 New Zealand ISBN 978-0-473-29386-4.

our kaitiakitanga, our mana, our whakapapa, our history, our tikanga and kawa.

8. Te Atiawa o Te Waka-a-Maui derived mana over Kaiteriteri through raupatu. As a tangata whenua iwi, Te Atiawa o Te Waka-a-Maui has a role in to protect all wahi tapu and occupation sites within Kaiteriteri. ²
9. Kaka Point and the surrounding area is pivotal to Te Ātiawa o Te Waka-a-Māui and is a wāhi tapu. Kaka Point is of special significance to Te Ātiawa o Te Waka-a-Māui whānau through their ancestral and spiritual links to the natural world. The mauri of Kaka Point embodies the life force that binds the spiritual world with the physical world. ³
10. Te Ātiawa consider this retrospective consent within Kaiteriteri as a challenge to our mana and kaitiakitanga, due to the proximity of Kaka pa, and numerous wahi tapu.
11. The absence of cultural awareness and engagement from the applicants demonstrates a disregard for our values, the RMA and Te Tiriti o Waitangi.

² [Te Ātiawa o Te Waka-a-Māui Deed of Settlement Schedule - Documents 21 Dec 2012](#) pg 20

³ [Te Ātiawa o Te Waka-a-Māui Deed of Settlement Schedule - Documents 21 Dec 2012](#) pg 20

POSITION

12. Te Ātiawa Trust is strongly opposed to this retrospective consent and wish to be heard in support of our submission for the following reasons:
13. Te Ātiawa considers that the proposal frustrates the relevant policies and objectives of the Resource Management Act (RMA) and Te Ātiawa Iwi Environmental Management Plan.
14. The effects on Te Ātiawa of this retrospective consent relate to culture, tradition, and spiritual beliefs recognised in the Deed of Settlement and Iwi Environmental Management Plan, and the protections afforded under Part 2 in areas where the tribe holds kaitiaki status and manawhenua.

To: The Resource Consent Administration Officer
 Tasman District Council
 Private Bag 4
 Richmond 7050



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 district council

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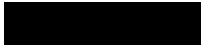
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Contact Person
 (if different):

Address for
 Service:

Postcode:

Phone:



E-mail:



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Print Full Name:

Signature*:



Date:

(Person making submission or authorised agent)

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SUBMISSION IN OPPOSITION OF RESOURCE CONSENT APPLICATION RM240000

Notwithstanding the assortment of infringements proposed by the applicant in resource consent application RM240000, the focus of this submission is on the impact of the proposal on the residential amenity surrounding 38 Kaiteriteri Sandy Bay Road.

Setback Infringement and Daylight Admission Breach

All District Plans go through an extended consultation period where matters such as setback standards and daylight admission standards are reviewed and considered (with public submissions received), before a District Plan becomes operable. Setbacks are then enforced by territorial authorities as a mechanism for minimising or avoiding cross-boundary effects such as loss of privacy, access to sunlight, and building / structure dominance.

The proposal seeks to obtain approval from the Tasman District Council for the constructed deck's infringement of the following rules along the boundary shared with neighbouring 36 Kaiteriteri Sandy Bay Road:

- Rule 17.1.3.1(k) of the Tasman Resource Management Plan, which requires that:
A balcony or deck with a finished floor level above 2 metres high is no closer than 4 metres from site or internal boundaries.
- Rule 17.1.3.1 (m) of the Tasman Resource Management Plan, which requires that:
No building projects beyond a building envelope constructed by daylight admission lines commencing from points 2.5 metres above ground level from all side and rear boundaries.

As a result of the deck's construction **no** setback has been provided along the boundary shared with the neighbouring residential property. As a result of the infringement the deck has, and has the potential to, adversely impact the residential amenity of neighbouring 36 Kaiteriteri Sandy Bay Road in the following ways:

- **Loss of privacy:** The deck has been constructed utilising all space between the dwelling and the shared internal boundary. As illustrated in Figures 9 and 11 of the Resource Consent Application prepared by Planscapes (NZ) Limited, there is a clear line of sight over and into the external and internal living spaces of the adjacent dwelling, and this is further facilitated by the transparency of the deck's glass balustrade. The natural topography of the Applicant's site further emphasises this effect, with the oversight of the neighbouring dwelling being more than what would typically be achieved from a residential neighbour in the Kaiteriteri environment, or in any residential environment throughout New Zealand.

This topographical consideration further accentuates the function and purpose of the applicable deck setback standard, and its ability to assure occupants of residential dwellings a standard level of privacy where they do not feel they are being overlooked or exposed to unwanted visual observance from neighbouring properties.

If the deck had been constructed 4 m back from the boundary in accordance with the applicable setback standard, a greater level of privacy would have been afforded to the neighbouring dwelling.

Furthermore, despite the Applicant claiming that existing landscaping provisions that are currently in place along the shared residential boundary prevent any overlooking of the property, and that the deck “*will not appreciably diminish the privacy of the neighbouring site*”, there is no means or mechanism in place to ensure this landscaping remains in place in perpetuity, meaning the Applicant or future property owners could change or remove the vegetation as a permitted activity at any time.

- **Visual dominance:** Further to the topographical considerations discussed above, the infringement of the setback standard and the deck structure’s placement along an extended reach of the shared boundary results in visual dominance of the deck and the adjoining dwelling on the neighbouring property. This visual dominance disrupts the wider surrounding residential character of the Kaiteriteri environment.
- **Disruption to sunlight:** The Tasman Resource Management Plan requires a set level of daylight admission to all properties and protects neighbouring properties from inappropriate development that results in disruption to good access to sunlight and daylight. The Tasman Resource Management Plan states that the daylight admission standards “*ensure reasonable amenity protection, whilst allowing reasonable development potential on adjoining sites*”.

The Applicant has sought to disregard any need for consideration of the daylight admission standard as a result of existing landscaping provisions that are currently in place along the shared residential boundary creating “*more shading than the deck structure*”. As noted above, there is no means or mechanism in place to ensure this landscaping remains in place in perpetuity, meaning the Applicant or future property owners could change or remove the vegetation as a permitted activity at any time. As such, reliance on the landscaping feature as a means for infringement of the daylight admission standard is considered to be invalid, and further consideration of the decks impact on daylight and sunlight provisions at 36 Kaiteriteri Sandy Bay Road should be made when considering the retrospective resource consent application.

General Observations

- The Applicant has not presented any plausible reasons as to why the ‘*deck with a finished floor level above 2 metres high is no closer than 4 metres from site or internal boundaries*’ setback should not be complied with.
- The deck was constructed with overt disregard for the well-publicised and documented statutory provisions of the Tasman District Plan.
- The deck should have been constructed to comply with the District Plan standards, and any doubts or queries from the Applicant or their professional advisors could have and should have been addressed pre-construction with Council staff who are available for consultation.
- Upon the reported realisation of the deck structure’s infringement of multiple statutory regulations, and the identification of the need for a resource consent for the structure,

no efforts appear to have been made by the Applicant to reduce the structure's non-compliance with the applicable statutory regulations.

- Should the Council grant retrospective resource consent for the deck without any modifications to the structure, this has the potential to set expectations / set a precedence that the Council allows for infringements of the setback standard when adverse residential amenity effects are afforded on neighbouring properties / dwellings; and / or that ignorance of the setback standards at the time of construction, and a resulting seeking of retrospective resource consent, provides for greater leniency of performance standard infringements.

Recommendations

It is considered that in accordance with the infringement abatement notice issued to the Applicant in December 2023, the Applicant should be required to remove or modify the deck to comply with the Tasman Resource Management Plan, or the Council should take action to do the work and recover the costs from the property owner.

A retrospective resource consent should only be issued once the deck structure has been dismantled to the extent necessary to comply with the applicable Tasman Resource Management Plan performance standards, as independently verified by a suitably qualified person.

Signed:



Martin Smith

BE(Hons)(Civil), FEngNZ, CPEng, IntPE, MICE, MInstD

Dated: 25 January 2025



Polly Smith

MURbPlan(Prof)HerCons, E.RMLA, Grad.NZPI

Dated: 25 January 2025

To: The Resource Consent Administration Officer

Tasman District Council
Private Bag 4
Richmond 7050



tasman
district council

Te Kaunihera o

te tai o Aorere

Email: resourceconsentadmin@tasman.govt.nz

Submission on Resource Consent Application

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Full Name:

Contact Person (if different):

Address for Service:

Postcode:

Phone: E-mail:

Submission Details

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This is a submission on an application from: (Name of Applicant):

For a resource consent to: (details can be found on the notice in the letter from Council, newspaper, website or on-site)

This application is for a retrospective resource consent for a deck and associated stairway at 38 Kaiteriteri Sandy Bay Road. Lot 2 DP 7124 and unformed legal road
Record of Title: NL2B/1375

Tasman District Council Application Number (if known): RM

1) The specific part(s) of the application that my submission relates to is/are (Give details*):

Condition (q) - Setbacks (Road Boundary) - is not met as the deck and stairs are over the road boundary.

* Note: Any additional information should be submitted on a separate sheet(s).

2) The reasons for my submission are (Give details*):

Submission is made by the Kaiteriteri Recreation Reserve Chief Executive Officer, on Behalf of the Board of Directors. This is in relation to an unapproved structure potentially installed on the Kaiteriteri Recreation Reserve Land and or Kaiteriteri Historic Reserve

*Note: Any additional information should be submitted on a separate sheet(s).

3) The nature of my submission is that: (Tick one of the following three boxes):

I support the application I oppose the application I am neutral regarding the application

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Print Full Name: MASON READE FITZGERALD

Signature*: 
 (Person making submission or authorised agent)

Date: 27/01/2025

*Note: A signature is not required if you make your submissions by electronic means.

A copy of this submission MUST also be sent to the applicant as soon as reasonably practicable after serving a copy on the Council.

Tasman District Council
(Via email)

28/01/2025

RM240000 Tipple Staircase – Kaiteriteri Recreation Reserve Board response on resource consent application

Kia ora,

I am writing on behalf of the Kaiteriteri Recreation Reserve Board in response to the resource consent application by D Tipple & T Tipple & M Tipple.

1. The specific part(s) of the application that my submission relates to is/are (Give details*):

Condition (q) - Setbacks (Road Boundary) - is not met as the deck and stairs are over the road boundary.

The Kaiteriteri Recreation Reserve Board is unclear based on the drawings provided in this submission, whether the current stairway installation encroaches onto the Kaiteriteri Historic Reserve (Kākā Point), and or the Kaiteriteri Recreation Reserve.

Following an onsite inspection, it appears that this probable, as the stairway at its lowest point has a mechanism in which it can be manually raised or lowered to allow access directly to the beach below.

There is a narrow road reserve managed by the Tasman District Council that runs along the base of this property, and immediately adjacent to that is the Kaiteriteri Recreation Reserve boundary.

For the purpose of this submission, it is accepted that the stairway provides access from 38 Kaiteriteri Sandy Bay Road, directly onto Kaiteriteri Recreation Reserve land.

2. The reasons for my submission are (Give details*):

Over the years, the Kaiteriteri Recreation Reserve Board has held a consistent approach with neighbouring landowners, whereby access or structures spanning from private property to Reserve land have been discouraged and or prohibited.

This application is not dissimilar to the aforementioned situations therefore, in being consistent with advice provided previously, the Kaiteriteri Recreation Reserve Board would not support this application.

Should an amendment be made that precludes any direct structure access to the Kaiteriteri Recreation Reserve land, there would be no need for the Kaiteriteri Recreation Reserve Board to challenge this submission.

Sincerely,



Mason Fitzgerald
Chief Executive Officer
Kaiteriteri Recreation Reserve

To: The Resource Consent Administration Officer
Tasman District Council
Private Bag 4
Richmond 7050



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district council

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For a resource consent to: *(details can be found on the notice in the letter from Council, newspaper, website or on-site)*

Tasman District Council Application Number (if known): RM

1) The specific part(s) of the application that my submission relates to is/are (Give details*):

* Note: Any additional information should be submitted on a separate sheet(s).

2) The reasons for my submission are (Give details*):

**Note: Any additional information should be submitted on a separate sheet(s).*

3) The nature of my submission is that: (Tick one of the following three boxes):

I support the application I oppose the application I am neutral regarding the application

4) The decision I would like the Council to make is (Tick one of the following two boxes):

To grant consent To refuse/decline consent

If consent is granted, I wish the council to impose the following conditions

(Note: you do not have to suggest conditions, particularly if you want the council to refuse consent):

**Note: Any additional information should be submitted on a separate sheet(s).*

5) Attendance at any Council Hearing (You must tick one of the following two boxes):

I wish to be heard in support of my submission I do not wish to be heard in support of my submission

Note: If you indicate that you do not wish to be heard, you will still receive a copy of the Council's decision but you will not receive a copy of the hearing report if a hearing is held.

Print Full Name:

Signature*: <i>(Person making submission or authorised agent)</i>	Date:
--	-------

**Note: A signature is not required if you make your submissions by electronic means.*

A copy of this submission MUST also be sent to the applicant as soon as reasonably practicable after serving a copy on the Council.

To: The Resource Consent Administration Officer
Tasman District Council
Private Bag 4
Richmond 7050



tasman
district council

Te Kaunihera o

te tai o Aorere

Submission on Resource Consent Application

PLEASE ENSURE THAT ALL SECTIONS OF THIS FORM, ON BOTH SIDES, ARE COMPLETED.

Please note: all submissions become public documents. If the application requires a hearing, your submission may be published on the council's hearings page, including your name and contact details.

Personal information will also be used for administration purposes, including notifying submitters of hearings and decisions. All information will be held by the Tasman District Council with submitters having the right to access and correct personal information.

Submitter Details

Full Name:

Contact Person
(if different):

Address for
Service:

Postcode:

Phone:



E-mail:



Submission Details

This is a submission on the following application for resource consent lodged with the Council:

This is a submission on an application from: *(Name of Applicant)*:

For a resource consent to: *(details can be found on the notice in the letter from Council, newspaper, website or on-site)*

Tasman District Council Application Number (if known): RM

1) The specific part(s) of the application that my submission relates to is/are (Give details*):

* Note: Any additional information should be submitted on a separate sheet(s).

2) The reasons for my submission are (Give details*):

**Note: Any additional information should be submitted on a separate sheet(s).*

3) The nature of my submission is that: (Tick one of the following three boxes):

I support the application

I oppose the application

I am neutral regarding the application

4) The decision I would like the Council to make is (Tick one of the following two boxes):

To grant consent

To refuse/decline consent

If consent is granted, I wish the council to impose the following conditions

(Note: you do not have to suggest conditions, particularly if you want the council to refuse consent):

**Note: Any additional information should be submitted on a separate sheet(s).*

5) Attendance at any Council Hearing (You must tick one of the following two boxes):

I wish to be heard in support of my submission

I do not wish to be heard in support of my submission

Note: If you indicate that you do not wish to be heard, you will still receive a copy of the Council's decision but you will not receive a copy of the hearing report if a hearing is held.

Print Full Name:

Signature*:

(Person making submission or authorised agent)

Date:

**Note: A signature is not required if you make your submissions by electronic means.*

A copy of this submission MUST also be sent to the applicant as soon as reasonably practicable after serving a copy on the Council.

Tipple Consent Objection JF & RA Bowie

This document is intended to append the objection lodged in relation to RM240000.

1. Environmental impact: The construction likely caused disturbance to the sensitive coastal environment and wildlife habitats, particularly the penguins, without prior assessment, control or respect.
2. Lack of proper assessment: By building first and seeking consent later, the applicants circumvented important pre-construction research, reports, and impact assessments as required by all law-abiding and respectful residents seeking to build, alter or otherwise improve their properties.
3. Neighboring property effects: The structure including parking platforms breaches setback requirements and daylight admission rules, negatively impacting adjacent properties and creates a substantial and unsightly placement of multiple caravans, trailers, boats and tractors without regard for the neighbours' situation or the overall peaceful enjoyment of a major recreational neighbourhood.
4. Cultural heritage concerns: The deck and stairs were erected in a cultural heritage precinct without proper authorization.
5. Coastal environment encroachment: The structure is closer than 30m to Mean High Water Springs, violating coastal protection rules.
6. Precedent setting: Approving this application may encourage others to build first and seek permission later, undermining the council's planning and consent processes and indeed undermining the whole purpose of having rules and regulations governing such matters.
7. Non-compliance: The application fails to meet multiple permitted activity conditions across several TRMP zones and rules.

8. Inadequate justification: The applicants have not provided compelling reasons why their non-compliance should be excused or how the adverse effects will be mitigated.

Granting retrospective consent in this case would undermine the integrity of the council's planning processes and send the wrong message to the community. We urge the council to decline this application and require the removal of the unauthorized structures.

SUBMISSION ON APPLICATION CONCERNING RESOURCE CONSENT

Form 13, Section 96, Resource Management Act 1991

TO: **Tasman District Council**
Private Bag 4
Richmond 7050

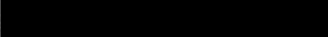
By email: rcadmin@tasman.govt.nz

Copy to: D Tipple, T Tipple and M Tipple (**Applicant**)
c/- Planscapes (NZ) Ltd
PO Box 99
Nelson
Attention: Tayla Carson

By email: tayla@planscapes.co.nz

Name of Submitter:

David Lucas and Jane Lucas (**Submitter**)
c/- Ashleigh Yardley
Tavendale and Partners
PO Box 8042
Nelson

By email: 

Resource Consent Application That This Submission Relates To:

- 1 This is a submission on a publicly notified application by D Tipple, T Tipple and M Tipple (**Applicant**) to construct a deck and associated stairway (**Proposed Activities**), by way of retrospective land use resource consent (Application RM240000) (**Application**). The Application relates to the property located at 38 Kaiteriteri-Sandy Bay Road, Kaiteriteri, being Lot 2 DP 7124 comprised in record of title NL2B/1375, and includes the road reserve between the southern property boundary and the beach of Kaiteriteri (**Application Site**).

Trade Competition Declaration:

- 2 The Submitter is not a trade competitor for the purposes of section 308B of the Resource Management Act 1991.

Specific Parts of The Application That This Submission Relates To:

- 3 This submission relates to the Application in its entirety.

Submission:

Submitter's Property

- 4 The Submitter owns the property located at 36 Kaiteriteri-Sandy Bay Road, Kaiteriteri, being Lot 1 DP 4631 comprised in record of title NL114/168. The property is located at the northern extent of the Kaiteriteri main beach. Topographically the majority of the site is low lying at the level of the beach, elevated at approximately 3 metres. The north eastern and south eastern boundaries (neighbouring the Application Site) elevate steeply up from the platform to the boundaries up to 8 and 10 metres.
- 5 The Submitter's property comprises a main residential dwelling in the centre of the site on the low-lying area, an old boat shed in the south eastern corner and a new boat shed in the northern corner. Access to the property is via the public car park in the south western corner of the site. The Kaiteriteri beach forms the southern boundary of the site. The Application Site is located along the eastern boundary with a slope covered in vegetation separating the two. The deck surrounds the southern and western extent of the Application Site.
- 6 The property and Application Site fall within the Residential Zone of the Tasman Resource Management Plan (**District Plan**), and are subject to the following overlays:
 - Land Disturbance Area 2; and
 - Coastal Environment Area.

Reasons for Submission:

- 7 Overall, the Submitter opposes the Application because:

8 ***Applicant's Conduct***

- 8.1 As the Application is a retrospective resource consent application, the Submitter is in the unfortunate position of already experiencing the adverse effects of the Proposed Activities for which resource consent is being sought. The deck was constructed in December 2022. Since then, the Submitter has been subjected to a significantly reduced level of privacy at their property, which has directly affected their quality and enjoyment of life.
- 8.2 The Submitter has already been adversely affected by the Applicant's recent and flagrant non-compliances with the District Plan (that is, constructing a deck and associated stairway without resource consent on the Application Site). Further, the Applicant has failed to comply with a Council-issued abatement notice dated 15 December 2023 requiring the removal or modification of the deck to comply with the District Plan, specifically rules 17.1.3.1(k) and 18.11.2.1(a).
- 8.3 The Submitter considers these examples of retrospective resource consent application and non-compliance with an abatement notice show the Applicant's clear disregard for the District Plan, the cultural significance of this area, and compliance with the Resource Management Act 1991 (**RMA**). Accordingly, the Submitter has significant concerns about the Applicant's willingness to comply with any resource consent conditions, should resource consent be granted.

9 **Encroachment**

- 9.1 A request has been made for the Applicant to agree to the commissioning of an independent surveyor's report to identify the boundary line between the Applicant and Submitter's properties using accurate topographical data of the Application Site. This request has arisen from concerns that certain parts of the deck substructure and/or retaining wall appear to be located on the Submitter's property.
- 9.2 Until a ground-truthed survey is undertaken, the Submitter remains concerned that part or parts of the built deck encroach over the boundary between the Applicant and Submitter's properties. The Submitter categorically opposes any encroachment onto or within its own property boundary.

10 **Significant Adverse Effects**

- 10.1 The Submitter considers the Application fails to provide an assessment of all actual and potential relevant effects of the Proposed Activities on the environment. In particular, the Submitter notes the following:
- (a) *Privacy effects* – The construction of the deck within 0.07 metres from the boundary at the northern extent and 0.14 metres at the southern extent¹ has significantly reduced the level of visual privacy that was previously available to the Submitter. Prior to the construction of the deck, a key attribute and quality of the Submitter's property was its privacy, available due to the existing vegetation and topography, combined with the protection afforded by rules 17.1.3.1(k) and 17.1.3.1(q) of the District Plan. The activity cannot comply with the permitted activity conditions of those rules. Due to the proximity and height of the deck above, the actual adverse effects on privacy are significant. **Appendix 1** contains photographs taken by the Applicant from the deck, looking directly into the Submitter's property. Further, the effects are illustrated by the Submitter's decision to amend the design plans for their dwelling to limit the intrusion from the Applicant's view above. **Appendix 2** contains the original design plans and **Appendix 3** contains amended design plans, in which two of the three glass roof panels are removed. The Applicant is concerned that the adverse effects on privacy and amenity values will cause a diminution in value of their property.
- (b) *Landscape and visual effects* – When viewed from within the public domain and from the Submitter's property, the deck is partially visible from certain locations. The ability to visually mitigate the visual effects of the structure (for example, with vegetation) will vary depending on the direction of the view. Mitigation of these effects will only be achieved through appropriate height planting (of at least 2 metres above the existing deck). This conflicts with the value of the views that are made possible by the deck in this location. It is not fanciful to suggest that any planting that is used to soften/screen this view will, in time, be trimmed and/or removed to preserve that view (as the Applicant has done in previous years). Use of the non-complying part of the deck will accommodate social occasions that generate noise, which cannot be mitigated through the use of vegetation. Lighting at night will also create an effect that is difficult to mitigate against and will be prominent even when the area is substantially screened.

¹ Figures taken from Newton Survey dated 20 May 2022, appended to 'COA application for residential deck: Design features brief' dated 27 February 2023 by Tuatara Structures.

- (c) *Erosion and shallow instability* – the Application Site is located within the Land Disturbance Area 2 overlay due to the underlying Separation Point Granite and its inherent highly erodible nature. An independent expert report provided by Pattle Delamore Partners Ltd (PDP) dated 19 December 2024 found current signs of erosion around the timber piles, which is undermining the concrete supporting the piles on the deck. Further, there is slumping and shallow slippage on the toe area of the slope within the Application Site. The erosion appears to be caused by water surface run-off, which is flowing from east to west, down the slope below the deck. This creates adverse environmental effects in terms of erosion risk and instability (contrary to Policy 6.14.3.3 of the District Plan) which, if allowed to continue, will begin to degrade the integrity of the piles and remove the lateral support from the upper extent of the piles.
- (d) *Geotechnical / structural risks* – in addition to the erosion and site stability issues, PDP have also raised potential issues with the structural integrity of the constructed deck. For example:
- there was no geotechnical information or soil testing completed or provided along with the alignment of the deck and slope area, and no scale penetrometer testing for 'good ground' in accordance with the acceptable solutions which form part of NZS3604:2011;
 - no evidence of the embedment depth of the deck and retaining wall piles. Some photographs with tape measure were supplied but which pile it relates to was not identified;
 - the size of the pile holes and the SED piles are different between the as-built drawings and the GM Designs notes;
 - no comments on bracing piles are discussed or shown, despite the deck being built on sloping ground (which we understand NZS3604:2011 does not allow for);
 - there is no PS1 or PS4 for the timber deck or the retaining walls; and
 - there is no evidence of design for the retaining walls.

PDP considers there is insufficient information to show that the deck meets the requirements of the Building Code in relation to geotechnical requirements of B1 and NZS3604:2011. These issues present a risk of failure that is not acceptable under the Building Code or to the Submitter.

- (e) *Cultural and Archaeological effects* – the Application fails to address the significant cultural and archaeological values of the site, with no assessment provided as to the effects of what has occurred. It is futile for the Applicant to suggest that they were unaware of the cultural significance of the Kākā Point area when it is clearly signposted on an information board on the edge of the beach (shown in photographs in **Appendix 4**). This presents a serious concern of precedent implications where consent is granted for activities within a cultural heritage precinct, in circumstances where works have been undertaken in the absence of prior consultation and monitoring by Iwi, and authority from Heritage New Zealand Pouhere Taonga. Allowing the retrospective consent will affect public confidence in the consistent administration and integrity of rule 16.13.6.1(d) of the District Plan. Furthermore, granting consent without such an assessment sends signal to the wider community that those values can be ignored.

- 10.2 Overall, the Submitter considers that the Application will result in significant adverse effects on the Submitter, on cultural values, other neighbours and the public that use and enjoy this special environment.

Summary

- 11 The Submitter considers that enabling the Proposed Activities would:
- 11.1 undermine the outcomes identified in the District Plan (through its objectives and policies) for the Residential zone and Land Disturbance Area 2 and Coastal Environment Area overlays, and consequently, compromise the integrity of the District Plan;
 - 11.2 have adverse effects, including on the Submitter, that are more than minor and that cannot be adequately avoided, mitigated or remedied; and
 - 11.3 would be contrary to the purposes and principles of the RMA, as set out in Part 2 of the RMA.
- 12 It is the Submitter's view that these matters are directly relevant to the Council's consideration of the Application and this Submission.

Relief sought

- 13 The Submitter seeks that the Application be declined in its entirety. The deck should consequently be altered, or removed entirely, to comply with the 4m setback in Rule 17.1.3.1(k) of the District Plan. The stairs on the public land should also be removed as the activity does not comply with the relevant provisions of the District Plan. If consent was to be granted for the stairs, it would risk setting a precedent of allowing private use of a paper road/unformed legal road through forceful occupation.

Hearing matters

- 14 The Submitter does wish to be heard in opposition of this submission.
- 15 If others make a similar submission, the Submitter will consider presenting a joint case with them at the hearing.
- 16 We agree, pursuant to section 100A of the Act, to the Tasman District Council delegating its functions, powers and duties to hear and decide the application to 1 or more hearings commissioners who are not members of the local authority.

SIGNED:



Ashleigh Yardley on behalf of Submitter
Tavendale and Partners

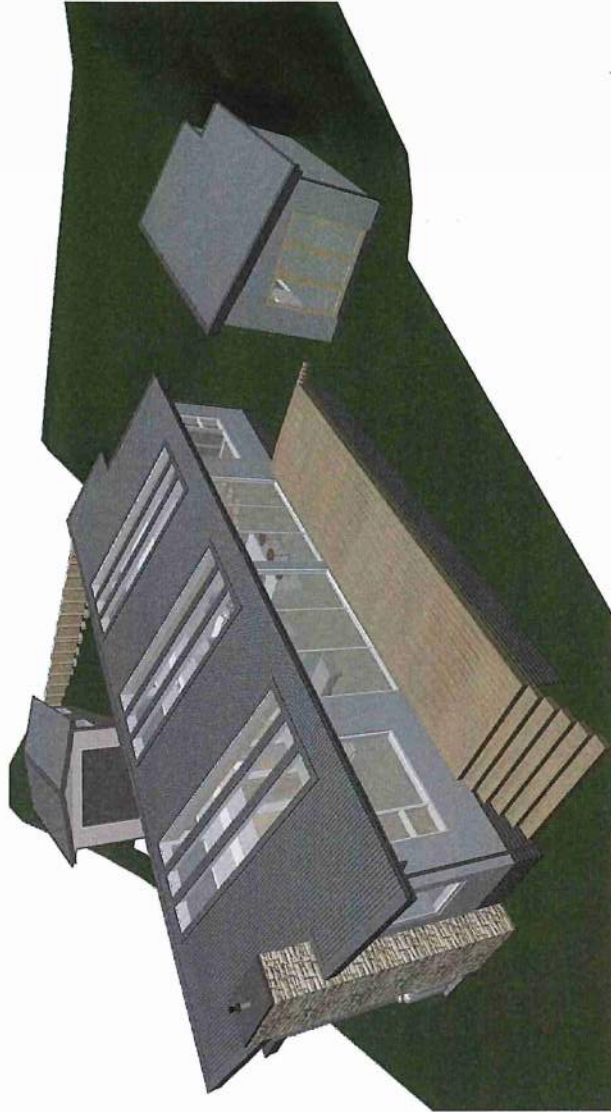
29 January 2025

Appendix 1

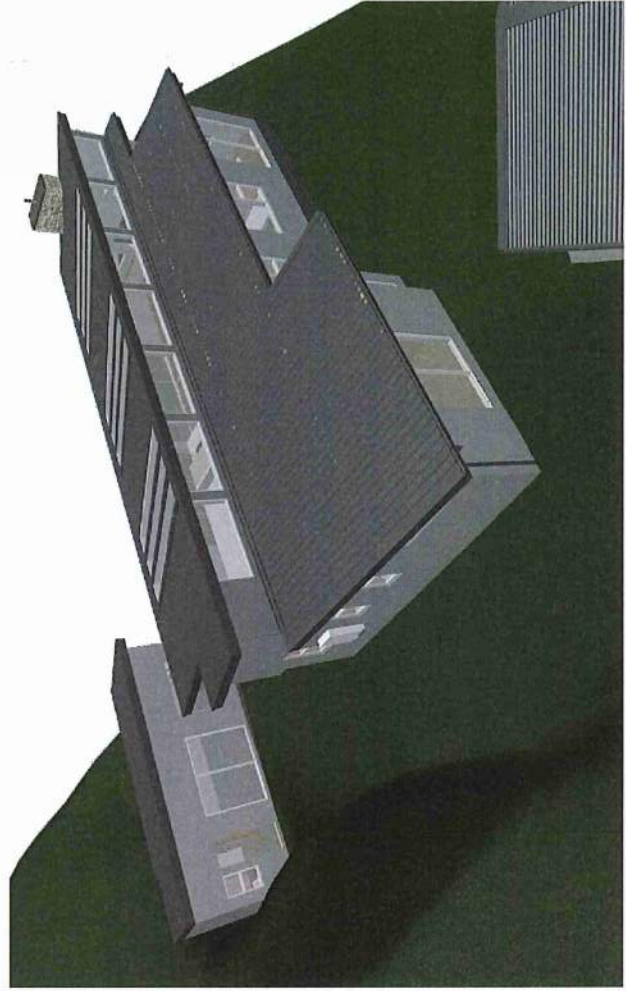




Sheet Index	Sheet Name	Issue	Issue Date	Issue Comment
101	Sheet Index & 3D Views	0	23/01/2023	Building Consent Issue
102	Exterior Views - Bach	0	23/01/2023	Building Consent Issue
103	Interior Views - Bach	0	23/01/2023	Building Consent Issue
104	Site Plan	0	23/01/2023	Building Consent Issue
201	Bach Plan - Existing	0	23/01/2023	Building Consent Issue
202	Bach Plan - Proposed	0	23/01/2023	Building Consent Issue
203	Bach Foundation Plan	0	23/01/2023	Building Consent Issue
204	Bach D & W Plan	0	23/01/2023	Building Consent Issue
205	Bach D & W Schedule	0	23/01/2023	Building Consent Issue
206	Bach Kitchen Plan & Elevations	0	23/01/2023	Building Consent Issue
207	Bach Roof Framing Plan	0	23/01/2023	Building Consent Issue
208	Bach Ceiling Framing & Roof Framing 3D	0	23/01/2023	Building Consent Issue
210	Bach Roof Plan	0	23/01/2023	Building Consent Issue
301	Bach Elevations	0	23/01/2023	Building Consent Issue
401	Bach Sections A1 & A2	0	23/01/2023	Building Consent Issue
402	Bach Sections A3 & A4	0	23/01/2023	Building Consent Issue
403	Bach Section B1 & B2	0	23/01/2023	Building Consent Issue
404	Bach Section B3	0	23/01/2023	Building Consent Issue
501	Bach + Boat Shed Cladding Details (1)	0	23/01/2023	Building Consent Issue
502	Bach + Boat Shed Cladding Details (2)	0	23/01/2023	Building Consent Issue
503	Bach + Boat Shed D & W Details	0	23/01/2023	Building Consent Issue
504	Bach Roof Details (1)	0	23/01/2023	Building Consent Issue
505	Bach Roof Details (2)	0	23/01/2023	Building Consent Issue
506	Bach Roof Glazing Details (1)	0	23/01/2023	Building Consent Issue
507	Bach Roof Glazing Details (2)	0	23/01/2023	Building Consent Issue
508	Bach Chimney Details	0	23/01/2023	Building Consent Issue
509	Bach Chimney Craftstone Details	0	23/01/2023	Building Consent Issue
601	Boat Shed Floor Plan & 3D Views	0	23/01/2023	Building Consent Issue
602	Boat Shed - D&W Plan and Joinery Schedule	0	23/01/2023	Building Consent Issue
603	Boat Shed Bracing Plan & Calculation	0	23/01/2023	Building Consent Issue
604	Boat Shed Foundation Plan & Details	0	23/01/2023	Building Consent Issue
605	Boat Shed Roof + Roof Framing Plan	0	23/01/2023	Building Consent Issue
701	Boat Shed Elevations	0	23/01/2023	Building Consent Issue
801	Boat Shed Sections	0	23/01/2023	Building Consent Issue
901	Boat Shed Roof Details	0	23/01/2023	Building Consent Issue
1001	Garage Floor Plan & 3D Views	0	23/01/2023	Building Consent Issue
1002	Garage Foundation Plan & Details	0	23/01/2023	Building Consent Issue
1003	Garage Roof + Framing Plan & Details	0	23/01/2023	Building Consent Issue
1101	Garage Elevations & Joinery Schedule	0	23/01/2023	Building Consent Issue
1201	Garage Sections	0	23/01/2023	Building Consent Issue
1301	Door and Window Details	0	23/01/2023	Building Consent Issue
1401	Site Services	0	23/01/2023	Building Consent Issue



Aerial view from South



Aerial view from North

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Check all dimensions on site.
Do not scale from plans.
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Issue Issue Note
0 Building Consent Issue

Date
23/01/2023

Sheet Index & 3D Views

Bach alteration for Mr & Mrs Lucas
36 Kaiteriteri - Sandy Bay Road, Kaiteriteri

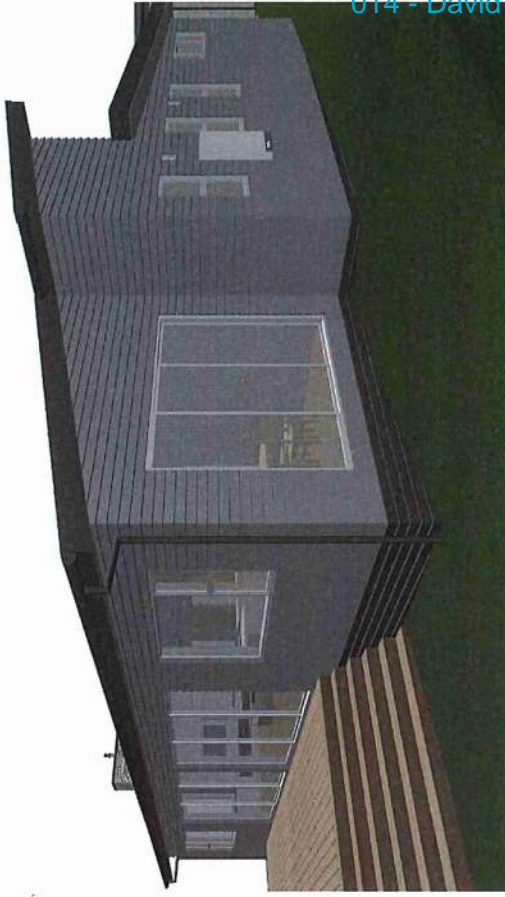
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Original Sheet Size A3

Sheet No 101

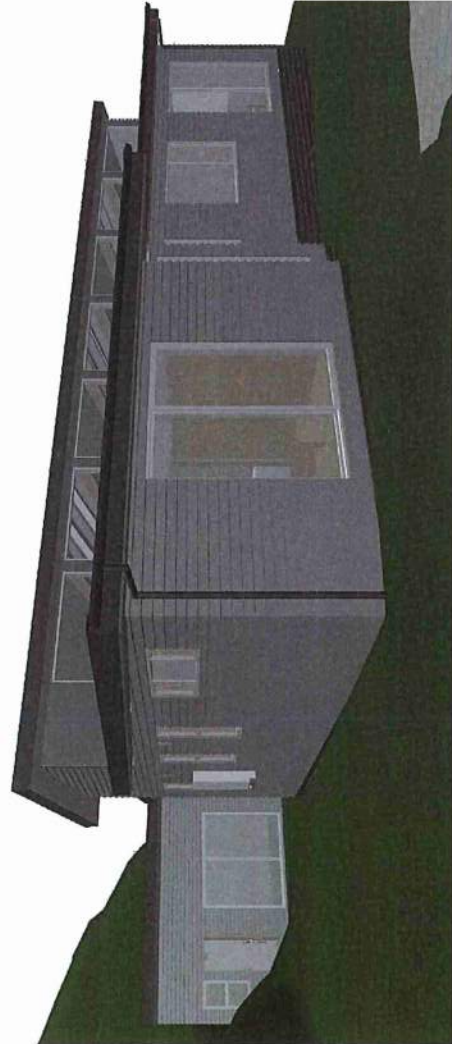
Issue 0



View from Southwest



View from Southeast



View from Northeast



View from Northwest

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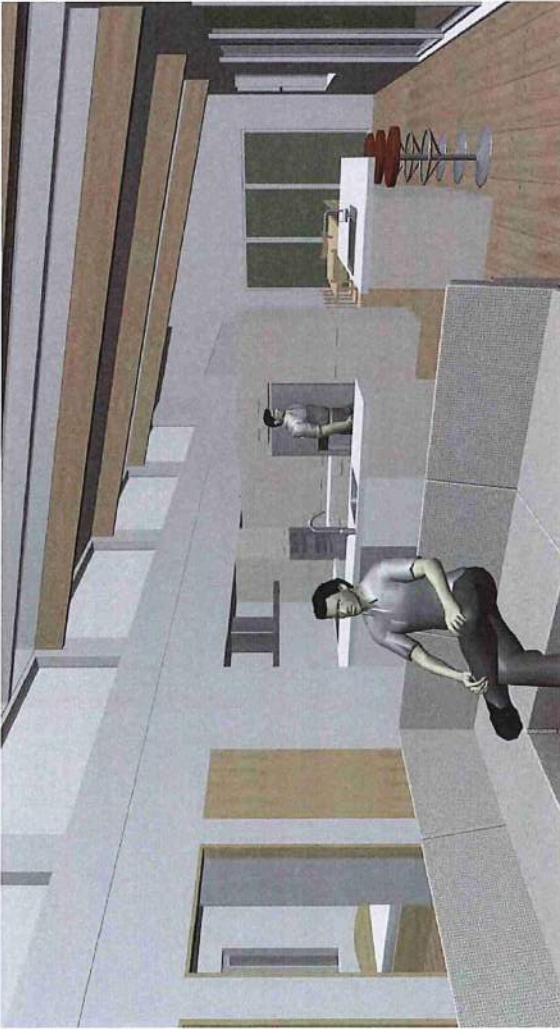
Issue	Issue Note	Date
0	Building Consent Issue	23/01/2023

Exterior Views - Bach

Bach alteration for Mr & Mrs Lucas
36 Kaiteriti - Sandy Bay Road, Kaiteriti

Job Ref 1808016
Original Sheet Size A3

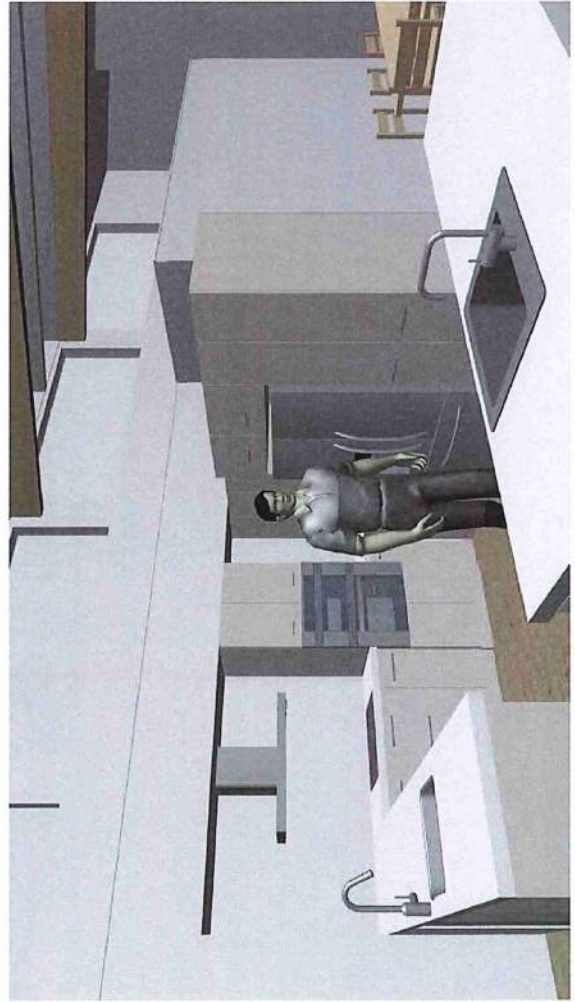
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Issue 0



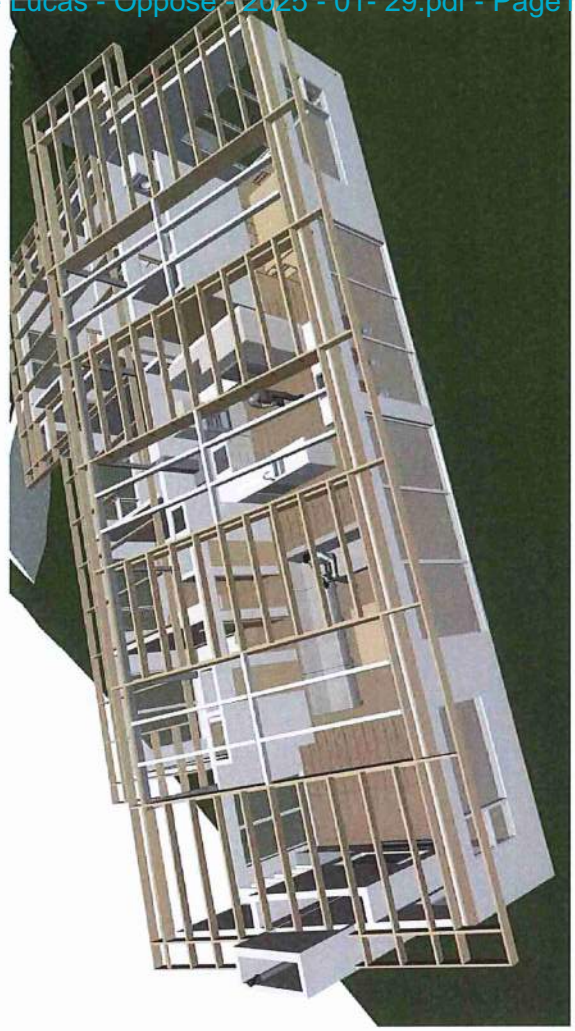
View from Living to Kitchen



View from Dining to Kitchen



Kitchen



Interior aerial view from South

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Issue	Issue Note	Date
0	Building Consent Issue	23/01/2023

Interior Views - Bach

Bach alteration for Mr & Mrs Lucas
36 Kaiteriteri - Sandy Bay Road, Kaiteriteri

Job Ref 1808016
Original Sheet Size A3

Sheet No 103

Issue 0

Legal Description

LOT	1
DP	4631
AREA	943m ²
Planning Zone	Residential

Site Information

Wind Zone	VERY HIGH
Earthquake Zone	2
Exposure Zone	D (Sea spray)
Snow Zone	N3 < 400m

Wind Zone Calculation

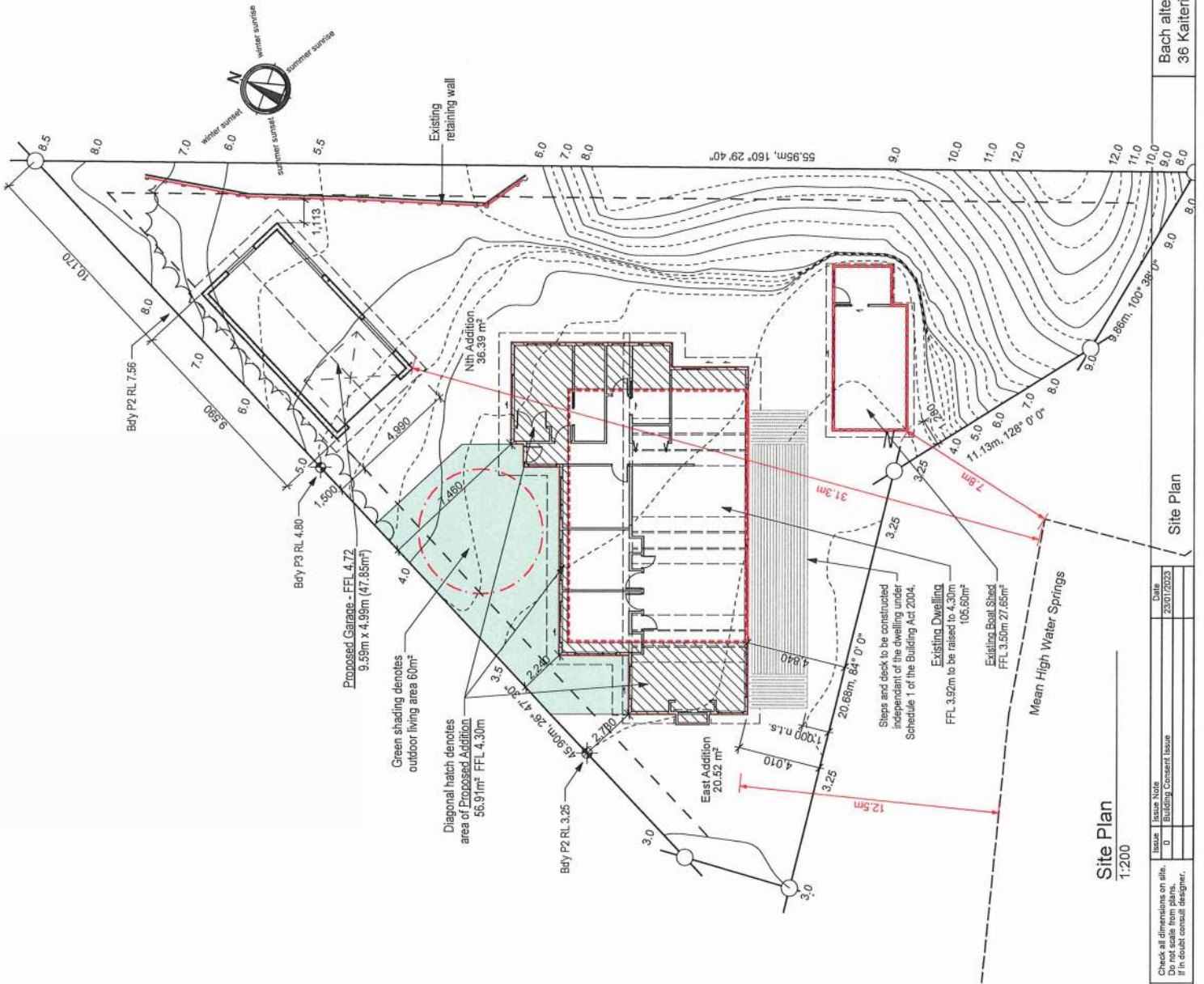
Wind Region	A
Ground Roughness	Open
Site Exposure	Exposed
Gradient	Steep
Topography	Not crest
Topographic Class	T3
WIND ZONE	VERY HIGH

Building Cover

Existing Boat Shed	27.65m ²
Proposed Garage	47.85m ²
Existing Dwelling (plan over framing)	105.60m ²
Proposed Addition	56.91m ²
Total Site Cover	238.01m ² (25.2%)

Dwelling Area Increase

Existing Dwelling (plan over framing)	105.60m ²
Proposed Addition	56.91m ²
Increase in floor area	53.9%



Site Plan
 1:200

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	Job Ref 1808016	Original Sheet Size A3	Sheet No 104
Bach alteration for Mr & Mrs Lucas 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri			

Subfloor Bracing Calculation to NSZ3604:2011

Along 17,525m
 Across 11,430m
 Area of Floor 162.57 m²
 EQ Demand (18BU/m² x 0.8) x 163 = 1,966 BU's
 Wind Demand Across 75BU/m x 17,525m = 1,315 BU's
 Wind Demand Along 80BU/m x 11,430m = 915 BU's
 Anchor Piles
 EQ = 160 BU/pile
 EQ = 120 BU/pile
 Piles Required
 EQ = 1,896 / 120 = 16 anchor
 Wind Across 1,315 / 160 = 9 anchor
 Wind Along 915 / 160 = 8 anchor
 piles
 piles
 piles

EQ demand dictates. Therefore, 16 anchor piles required.

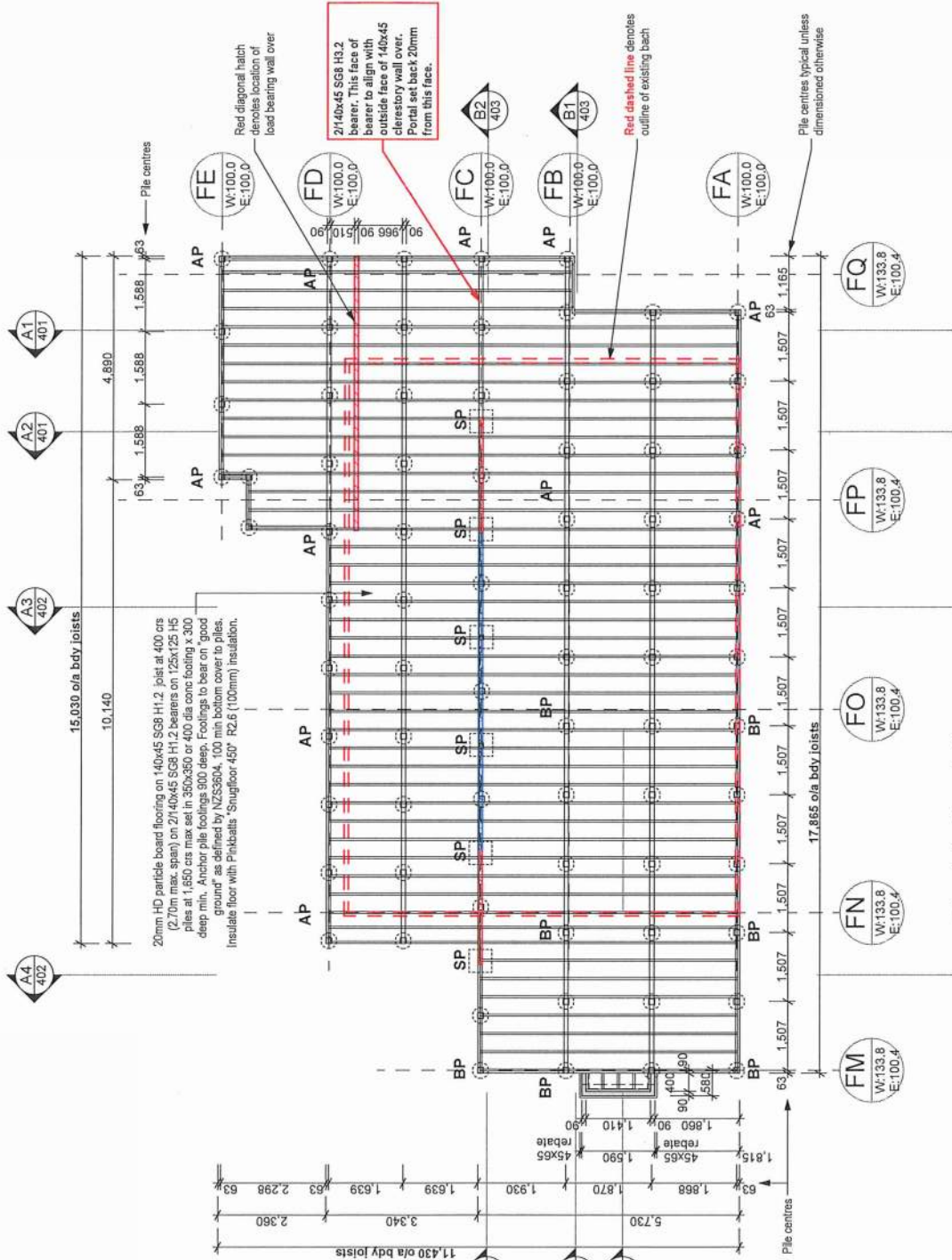
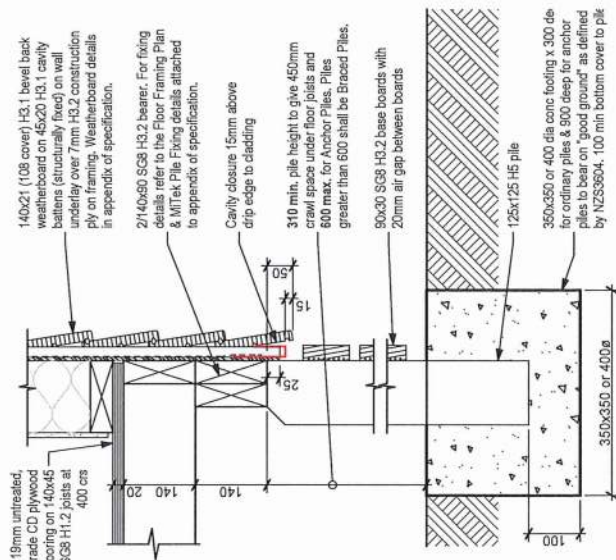
Anchor pile and ordinary pile details attached to appendix of specification.

All piles ordinary piles unless noted otherwise.

AP - Denotes Anchor pile

BP - Denotes Braced Pile

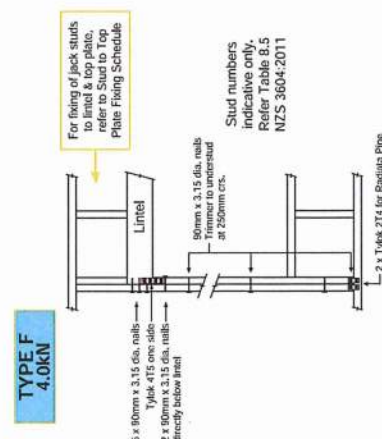
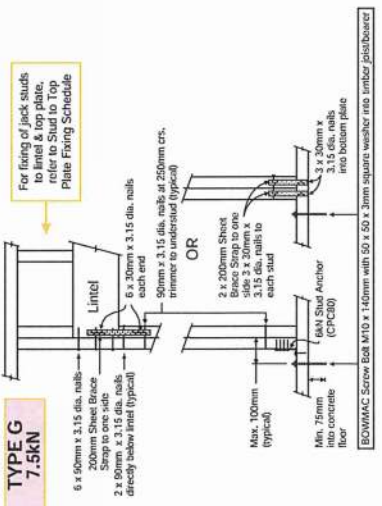
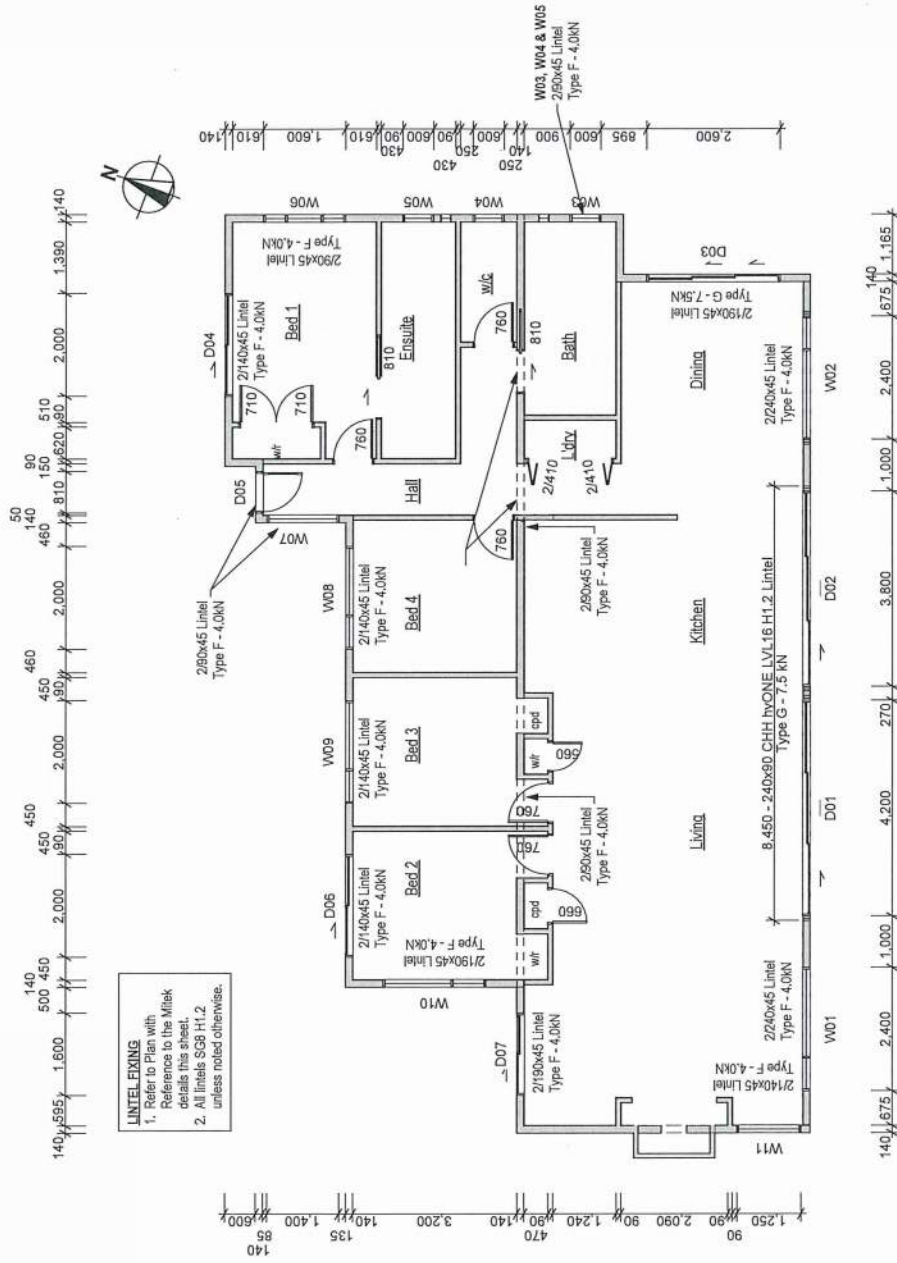
SP - Denotes Structural Pile (Refer to engineering drawings)



Plan L1 - Foundation
 1:100

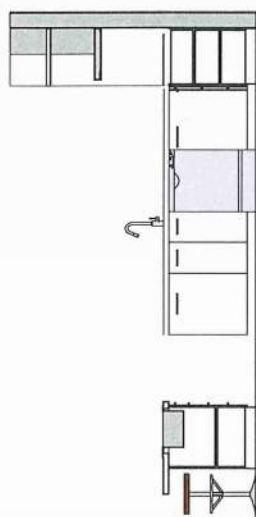
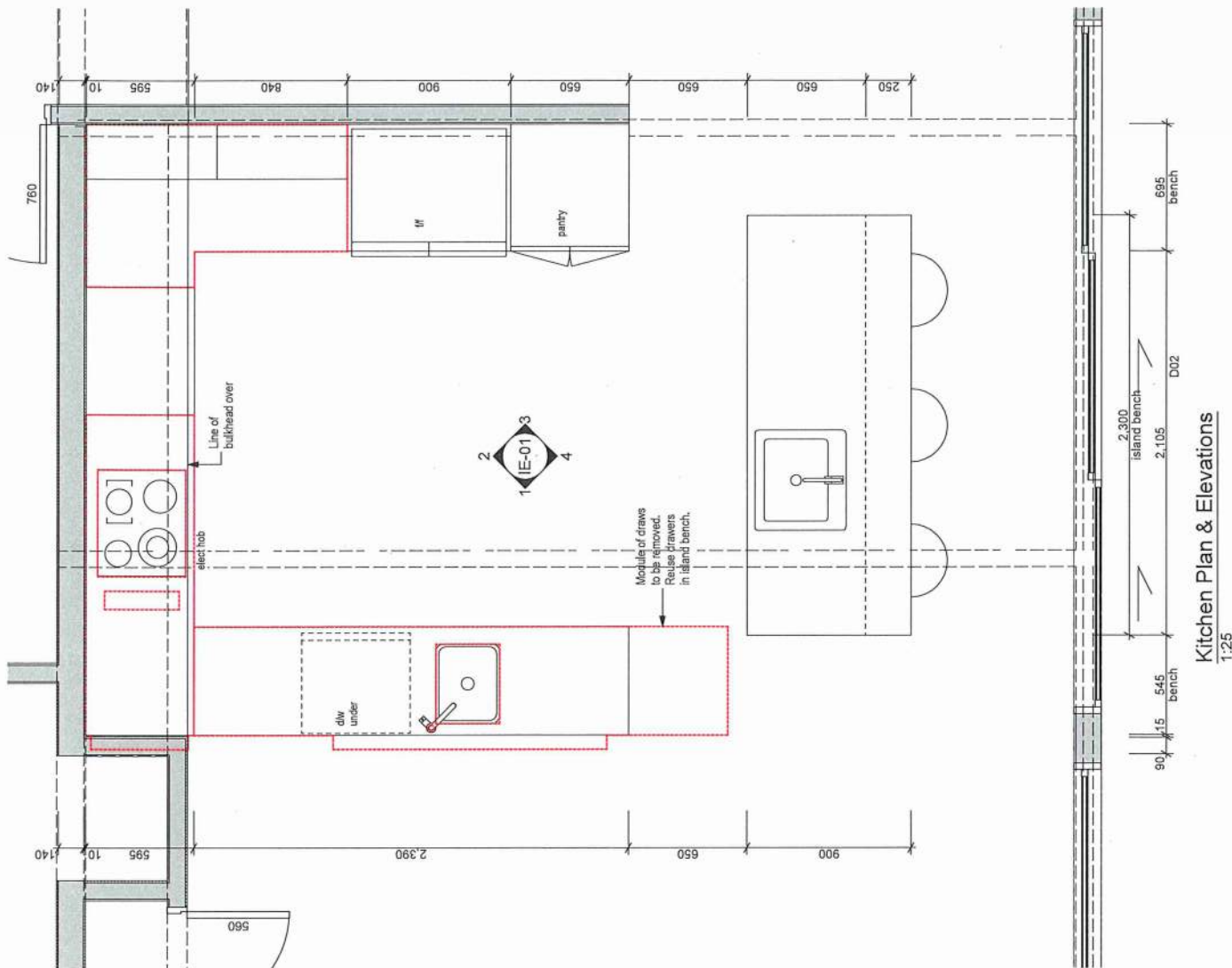
1 Bach Pile Foundation 1:10

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		0	Building Consent Issue	23/01/2023
© COPYRIGHT	1 Bach Pile Foundation 1:10	Bach Foundation Plan	Bach alteration for Mr & Mrs Lucas 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri	Job Ref 1808016 Original Sheet Size A3
				Sheet No 203 Issue 0

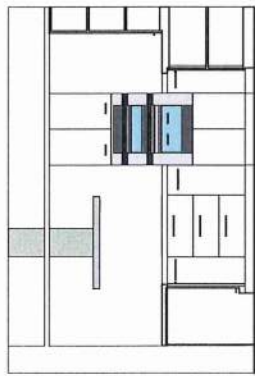


D & W Plan
 1:100

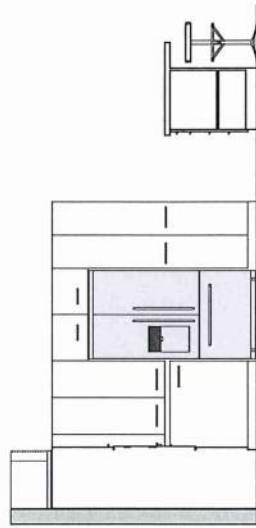
Issue No	0
Sheet No	204
Job Ref	1808016
Original Sheet Size	A3
Bach alteration for Mr & Mrs Lucas	36 Kaiteriteri - Sandy Bay Road, Kaiteriteri
Bach D & W Plan	
Date	23/07/2023
Issue Note	Building Consent Issue
Check all dimensions on site. If in doubt consult designer.	
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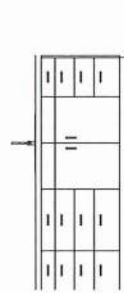
Elevation 1
1:50



Elevation 2
1:50



Elevation 3
1:50



Elevation 4
1:50

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Check all dimensions on site.
 If in doubt contact Designer.

Issue	Issue Note	Date
0	Building Consent Issue	23/07/2023

Bach Kitchen Plan & Elevations

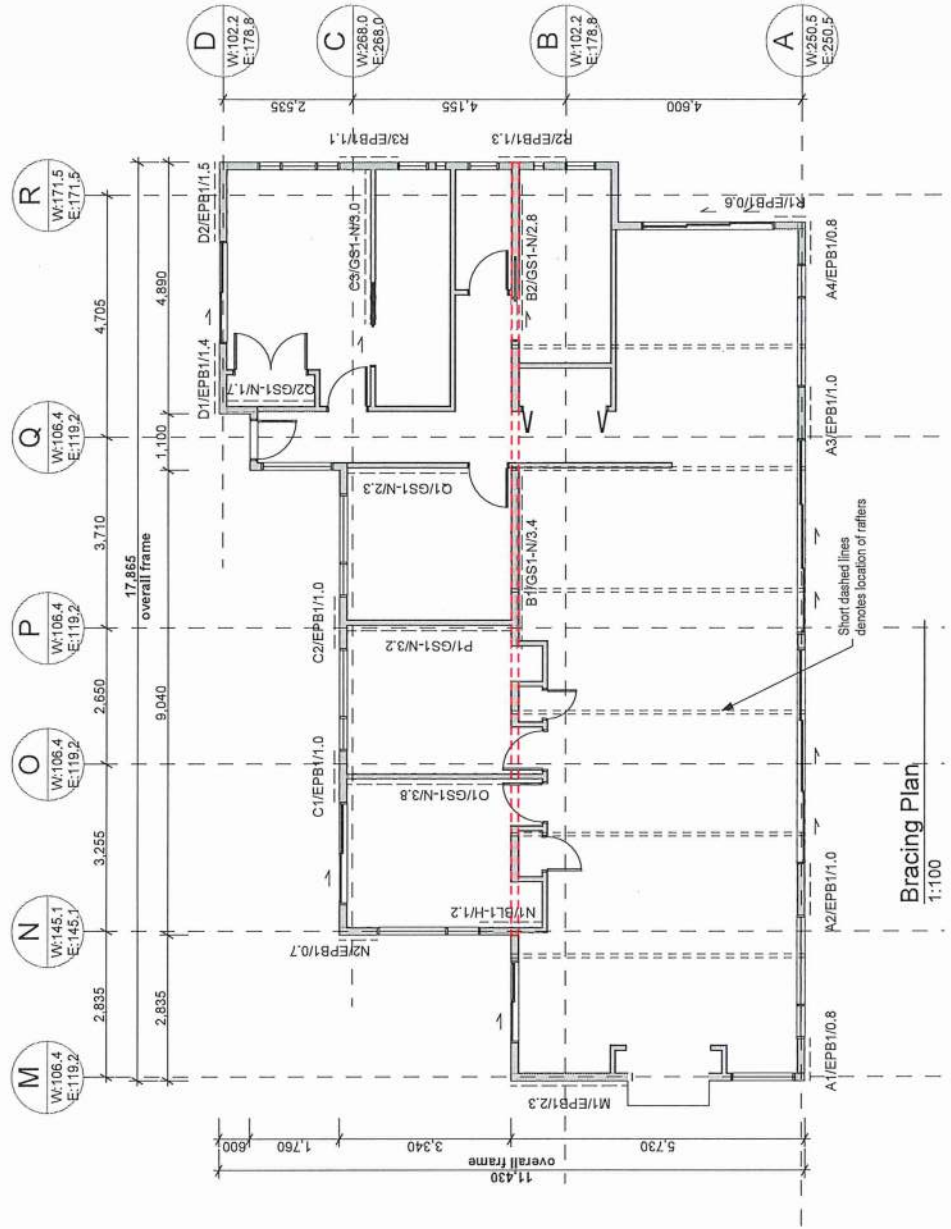
Bach alteration for Mr & Mrs Lucas
 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri

Job Ref 1808016
 Original Sheet Size A3

Sheet No 206
 Issue 0

Bracing Notes:

- Bracing walls that contain one or more wall bracing elements shall be connected at the top plate level, either directly, or through a framing member in the line of the wall, to external walls at right angles to it. shall be as noted on below.
- Top plate fixing(s) of the capacity in tension or compression along the line of the wall bracing element shall be as noted on below.
- Internal walls shall have the following connection capacity. A wall with:
 - up to 125BLUs requires a 6kN connection to at least one external wall
 - up to 250BLUs requires 6kN connections to at least two external walls
 - more than 250BLUs requires minimum capacities of 2.4kN per 100BLUs to at least two external walls
- Fixing shall be as shown NZS3604:2011 Figures 8.15 and 8.16. Copy attached to the appendix of the specification.



BRACING CALCULATIONS

TABLE: Default Very High

Location of Storey	Single	Wind Zone	Earthquake Zone	Soil Class	Building Width (BW)	Building Length (BL)	Gross Floor Area (GFA)	Floor Height to Apex	Roof Height Above Eaves	Roof Pitch	Roof Style	Double Top Plate	Floor Load	Cladding Weights:	W BU	EQ BU	Length BU/m	Height m	Angle	Achieved W BU	Achieved EQ BU	
Room in Roof Space	No	11.4m	17.9m	162.57m ²	5m	2m	0 - 25°	Monopitch	No	EQ	2kPa	Light	Light	Light	95.0	105.0	0.8	2.4	-	77.4	85.6	
Room in Roof Space	No	11.4m	17.9m	162.57m ²	5m	2m	0 - 25°	Monopitch	No	EQ	2kPa	Light	Light	Light	95.0	105.0	1.0	2.4	-	95.0	105.0	
Room in Roof Space	No	11.4m	17.9m	162.57m ²	5m	2m	0 - 25°	Monopitch	No	EQ	2kPa	Light	Light	Light	95.0	105.0	1.0	2.4	-	95.0	105.0	
Room in Roof Space	No	11.4m	17.9m	162.57m ²	5m	2m	0 - 25°	Monopitch	No	EQ	2kPa	Light	Light	Light	95.0	105.0	0.8	2.4	-	77.4	85.6	
Total																						

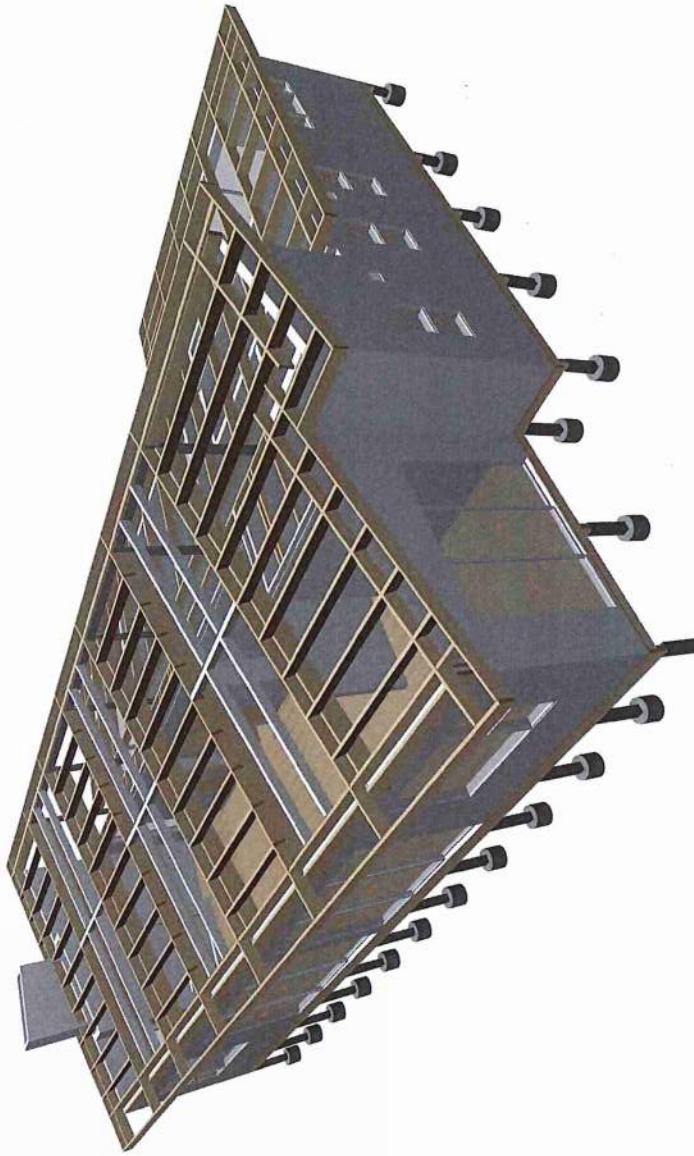
Calculations based on NZS3604:2011

BRACING ALONG

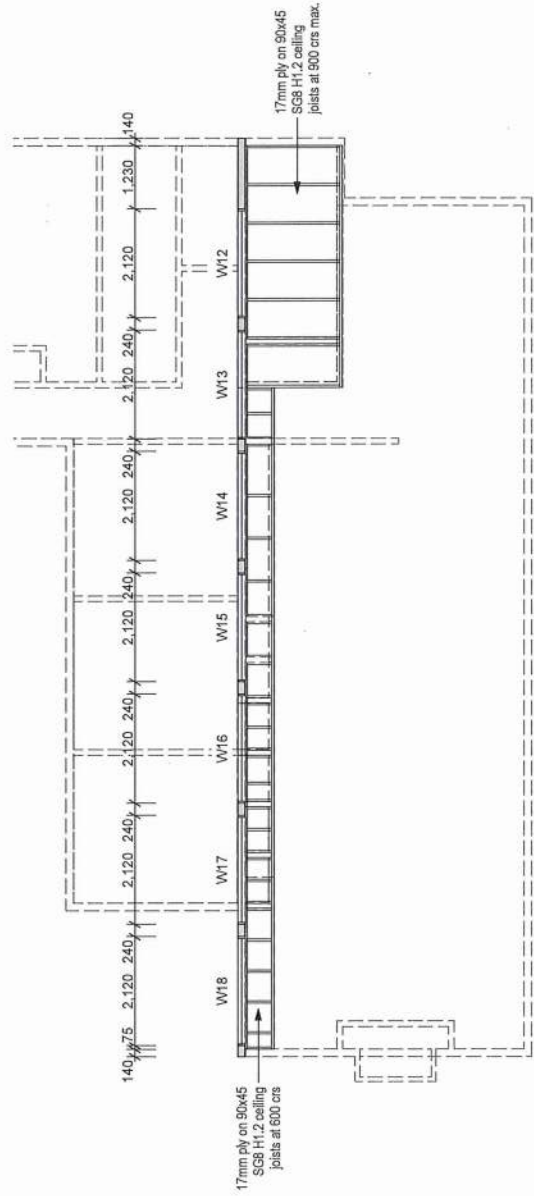
Required Line	W BU	EQ BU	Provided Brace Type	W BU	EQ BU	Length BU/m	Height m	Angle	Achieved W BU	Achieved EQ BU
A	250.5	250.5	A-1 EPB1	95.0	105.0	0.8	2.4	-	77.4	85.6
A	250.5	250.5	A-2 EPB1	95.0	105.0	1.0	2.4	-	95.0	105.0
A	250.5	250.5	A-3 EPB1	95.0	105.0	1.0	2.4	-	95.0	105.0
A	250.5	250.5	A-4 EPB1	95.0	105.0	0.8	2.4	-	77.4	85.6
Total										

BRACING ACROSS

Required Line	W BU	EQ BU	Provided Brace Type	W BU	EQ BU	Length BU/m	Height m	Angle	Achieved W BU	Achieved EQ BU
M	106.4	119.2	M-1 EPB1	120.0	120.0	2.3	2.4	-	273.6	273.6
N	145.1	145.1	N-1 BL1-H	120.0	105.0	1.2	2.6	-	135.5	118.6
N	145.1	145.1	N-2 EPB1	95.0	105.0	0.7	2.6	-	66.2	73.1
O	106.4	119.2	O-1 GS1-N	70.0	60.0	3.8	2.6	-	201.7	191.7
P	106.4	119.2	P-1 GS1-N	70.0	60.0	3.2	2.3	-	249.7	214.0
Q	106.4	119.2	Q-1 GS1-N	70.0	60.0	2.3	2.3	-	222.6	190.8
Q	106.4	119.2	Q-2 GS1-N	70.0	60.0	1.7	2.4	-	222.6	190.8
R	171.5	171.5	R-1 EPB1	80.0	95.0	0.6	2.4	-	163.5	140.1
R	171.5	171.5	R-2 EPB1	120.0	120.0	1.3	2.4	-	119.7	102.5
R	171.5	171.5	R-3 EPB1	95.0	105.0	1.1	2.4	-	283.2	242.7
Total										

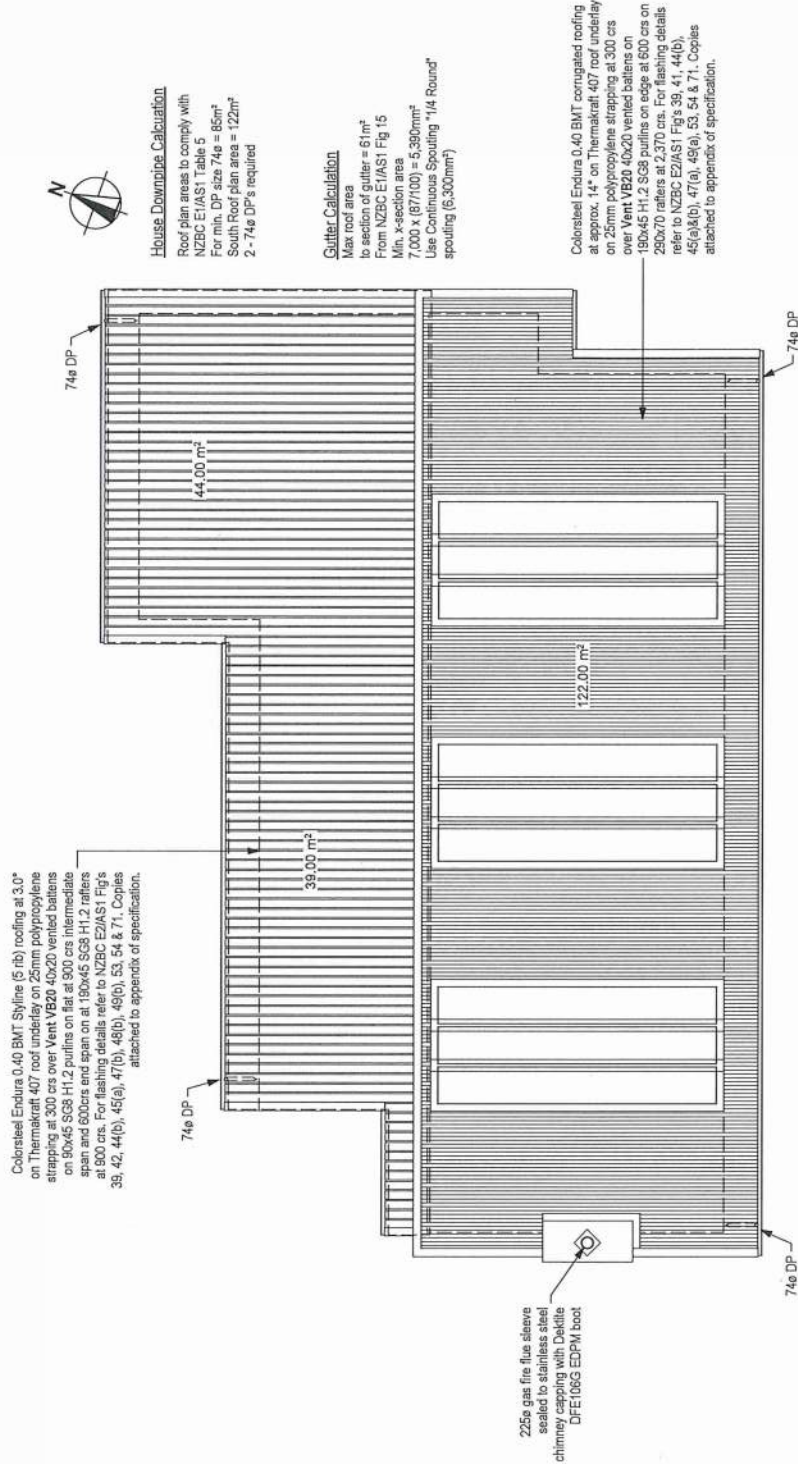


Roof Framing 3D



Ceiling Framing
1:100

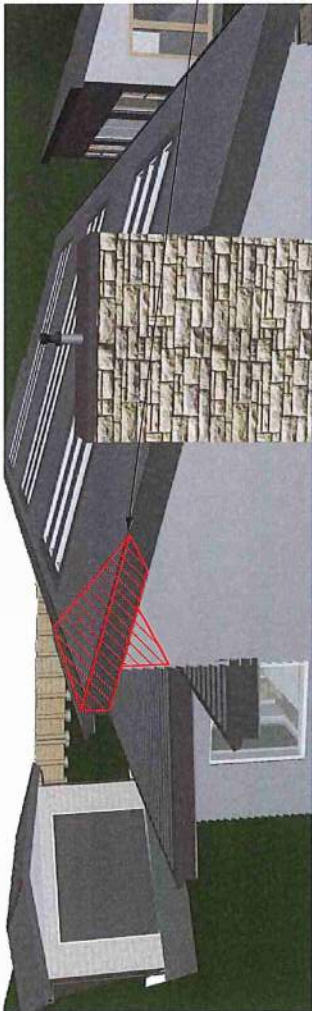
Check all dimensions on site. If in doubt consult designer.	Issue	Issue Note	Date
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© COPYRIGHT Baker Drafting Ltd Mechanical & Architectural Drafting Ph/Fax (03) 344-4572. Mob 027 344-4572	Bach alteration for Mr & Mrs Lucas 36 Kaiteriti - Sandy Bay Road, Kaiteriti		
Job Ref 1808016 Original Sheet Size A3	Sheet No 209	Issue 0	



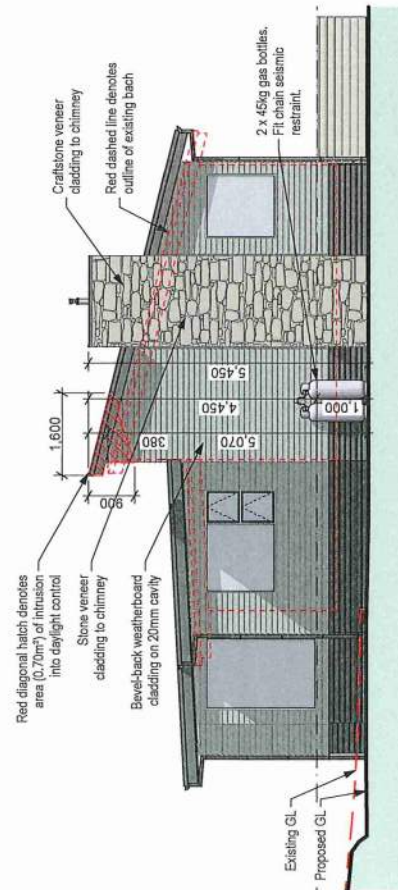
Check all dimensions on site. Do not scale from plans. If in doubt contact draught.	Issue No 0	Issue Date 23/01/2023	Issue Note Building Consent Issue
© COPYRIGHT Baker Drafting Ltd Mechanical & Architectural Drafting Ph/Fax: (03) 544 4972 Mob 027 544 4972	Job Ref 1808016	Sheet No 210	Issue 0
Bach alteration for Mr & Mrs Lucas 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri	Original Sheet Size A3		

BUILDING ENVELOPE RISK MATRIX	
All Elevations	
Risk Factor	Risk Severity Risk Score
Wind zone (per NZS 3604)	Very high risk 2
Number of storeys	Low risk 0
Roof/wall intersection design	Very high risk 5
Eaves width	High risk 2
Envelope complexity	Medium risk 1
Deck design	Low risk 0
Total Risk Score:	10

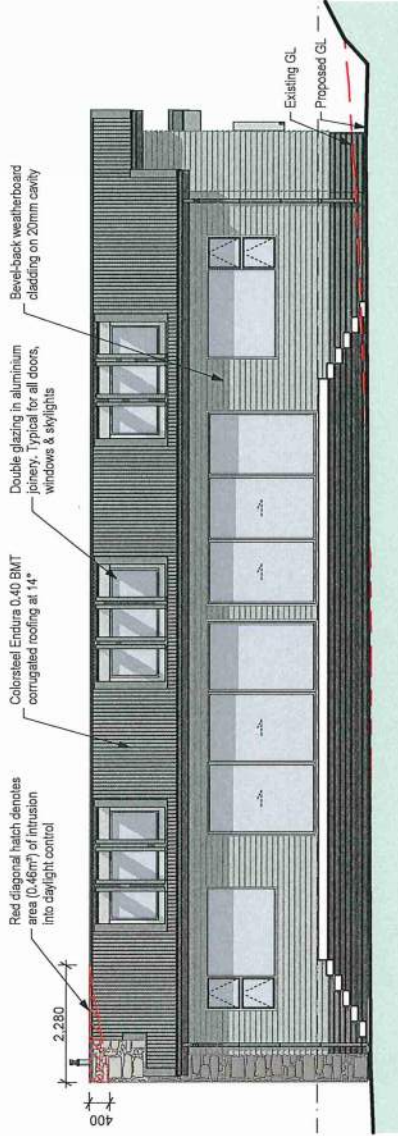
Red diagonal hatch denotes area of intrusion into daylight control. Refer to Elevations.



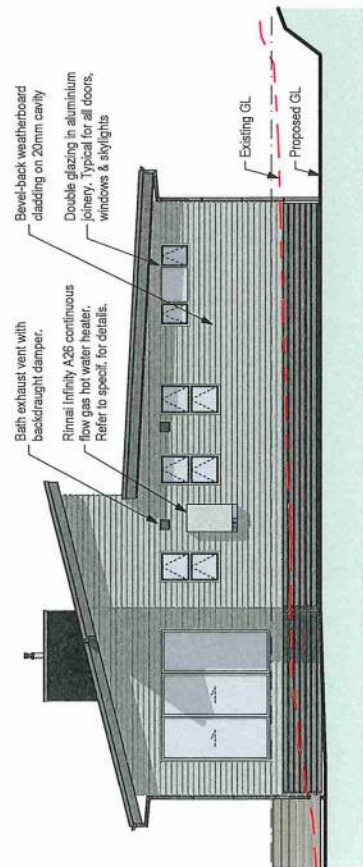
Aerial view from SW



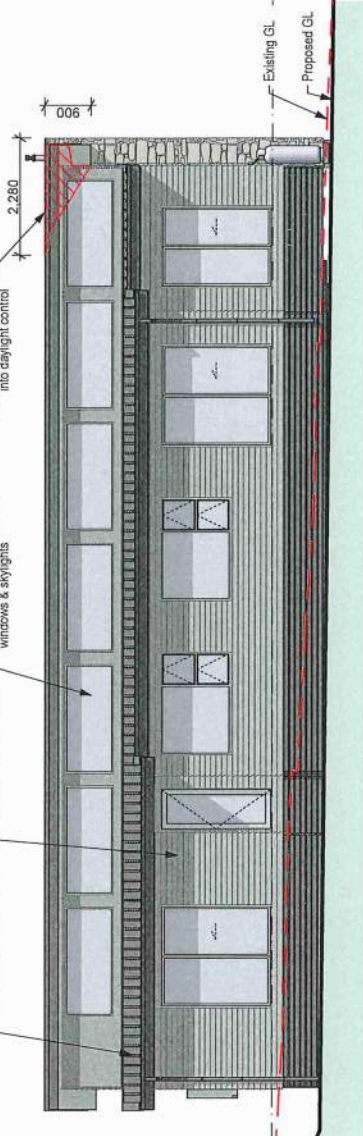
West Elevation 1:100



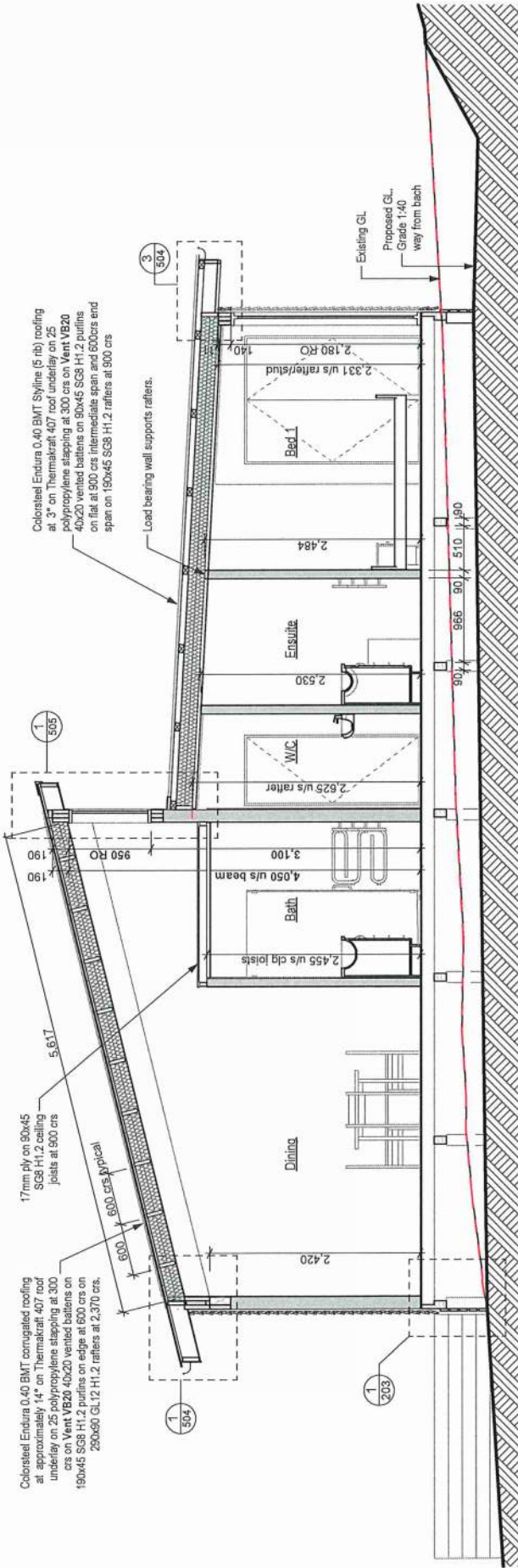
South Elevation 1:100



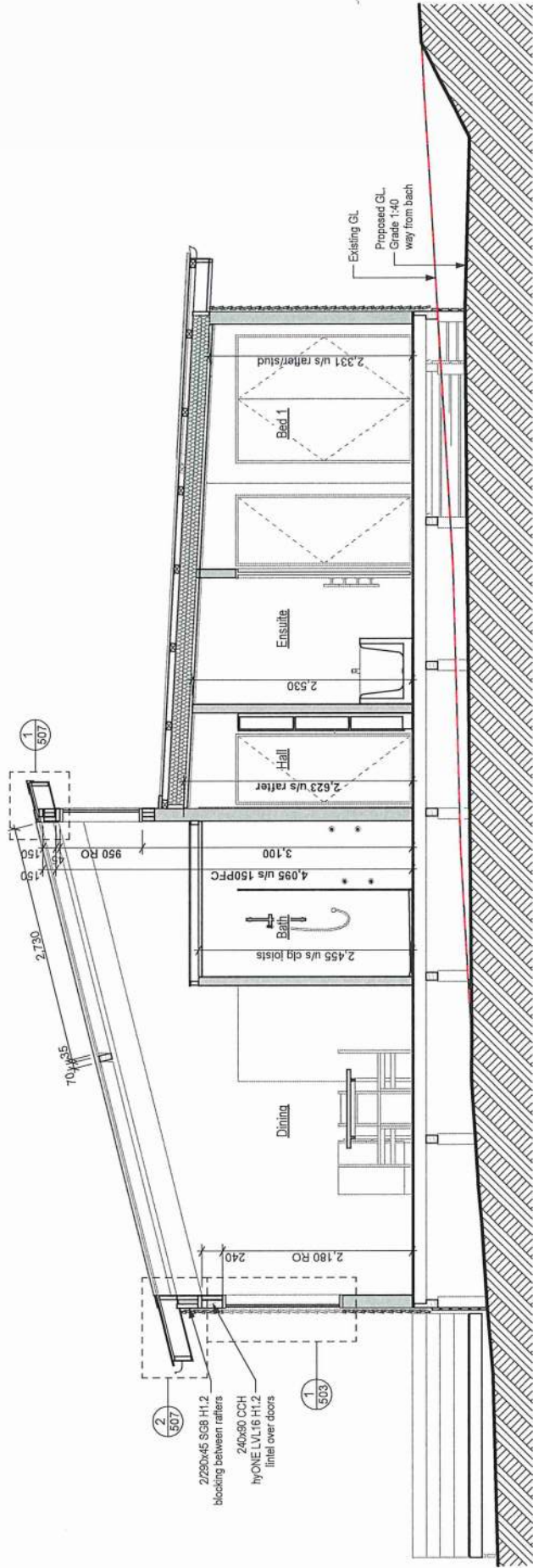
East Elevation 1:100



North Elevation 1:100



Section A1
1:50



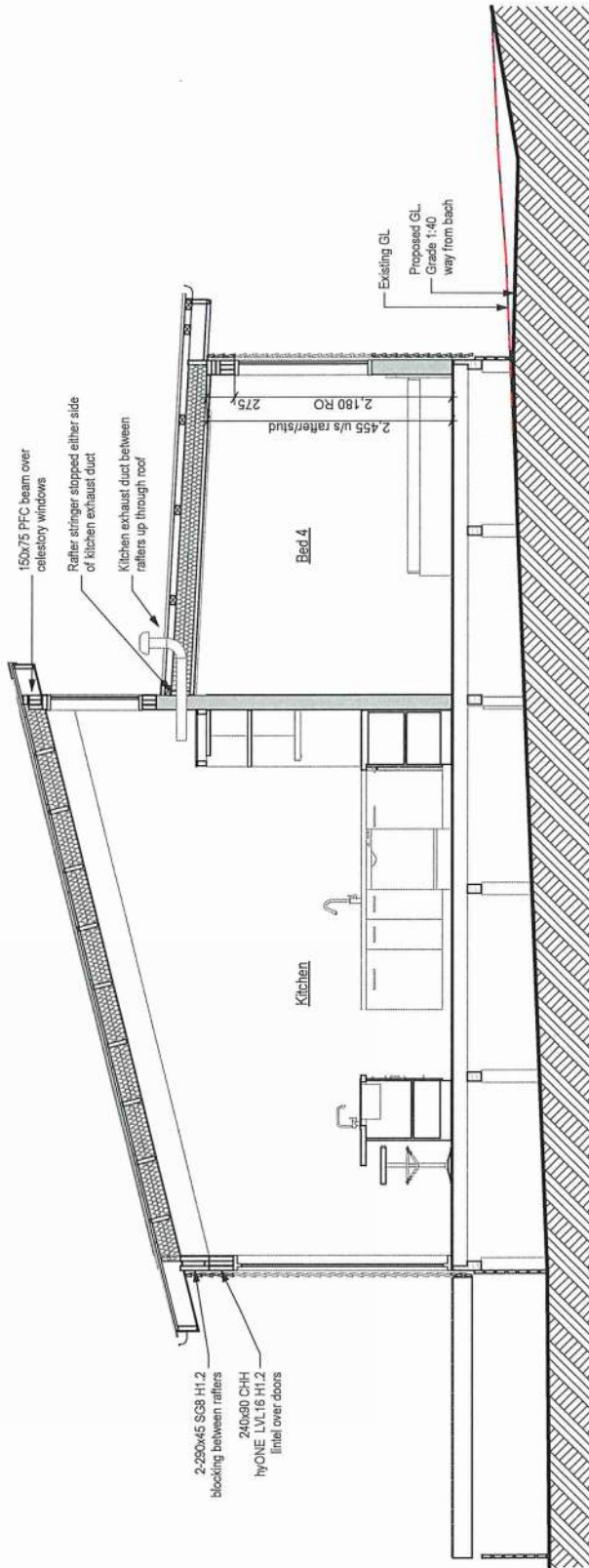
Section A2
1:50

Issue	Issue Note	Date
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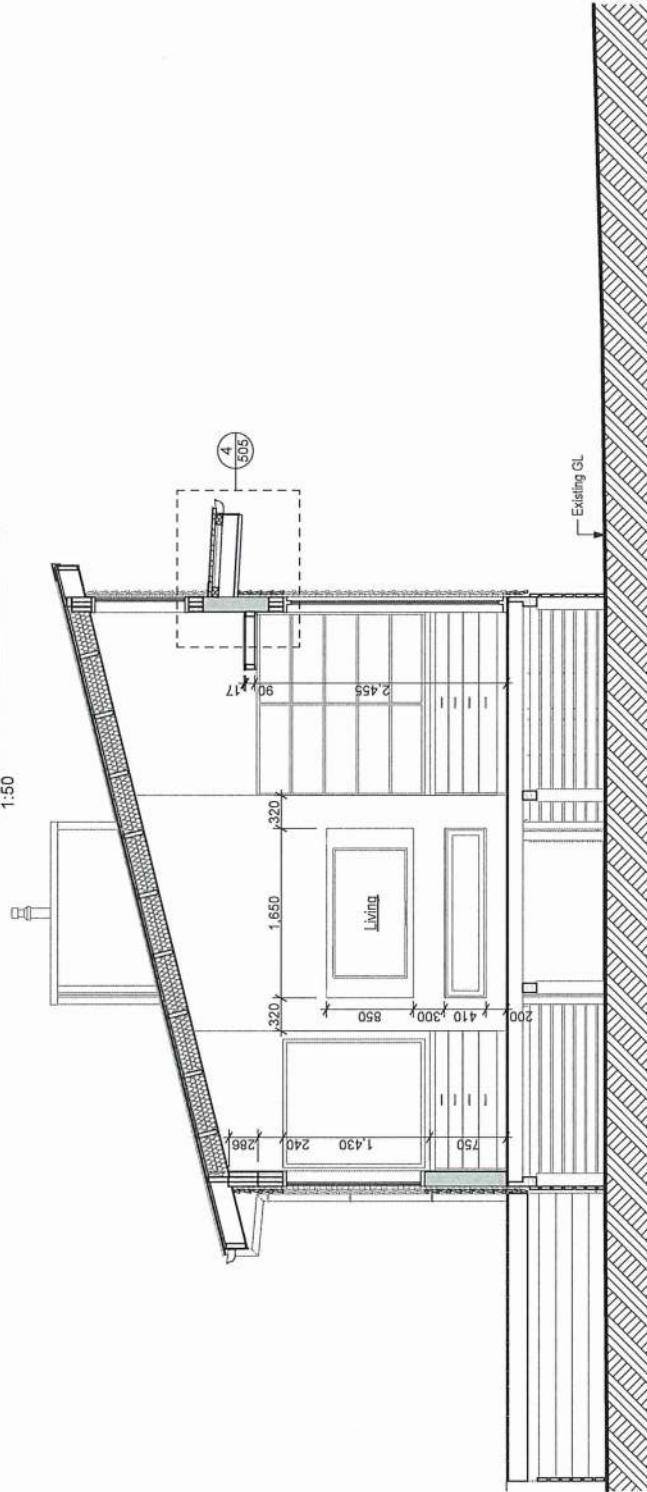
Bach Sections A1 & A2

Bach alteration for Mr & Mrs Lucas
 36 Kaiteriti - Sandy Bay Road, Kaiteriti

Job Ref	1808016	Sheet No	401	Issue	0
		Original Sheet Size	A3		

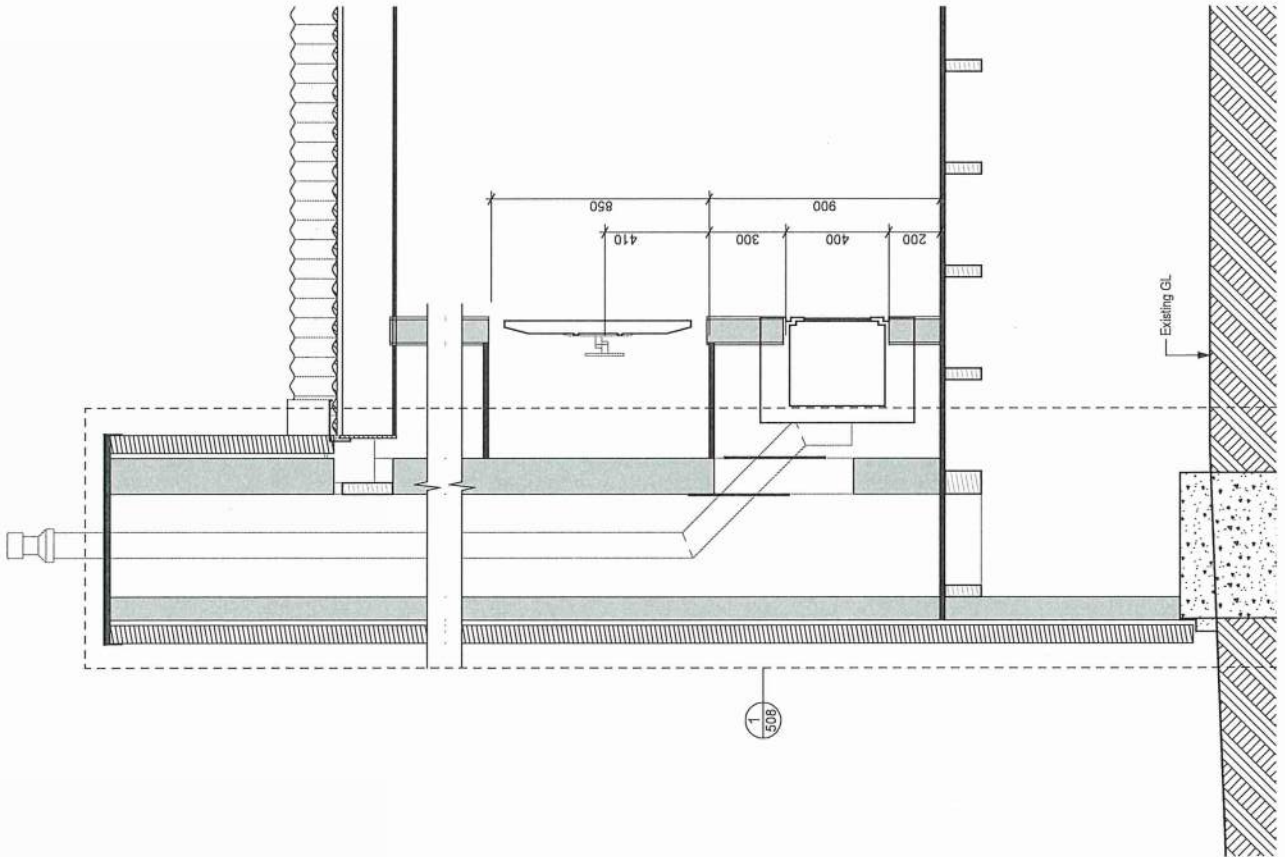


Section A3
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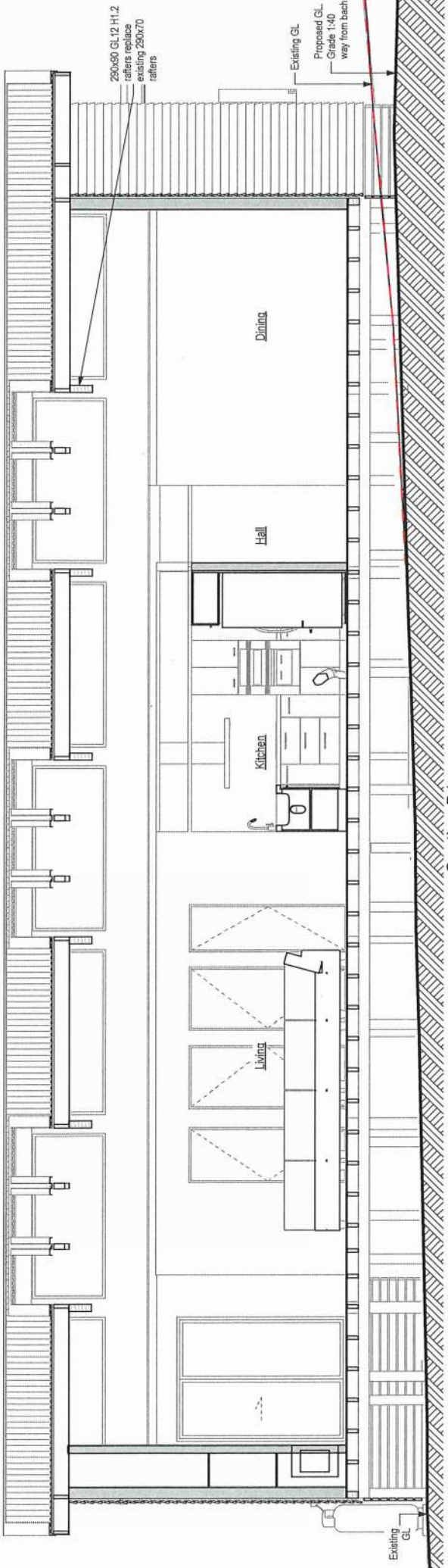
Section A4
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Check all dimensions on site. If not scale from plans. If in doubt consult engineer.	Issue	Issue Note	Date
	0	Building Consent Issue	23/07/2023
© COPYRIGHT Baker Drafting Ltd Mechanical & Architectural Drafting Ph/Fax: (03) 544 4872 Mob: 027 544 4872	Bach Sections A3 & A4		
Bach alteration for Mr & Mrs Lucas 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri			
Job Ref	1808016	Sheet No	402
Original Sheet Size	A3	Issue	0

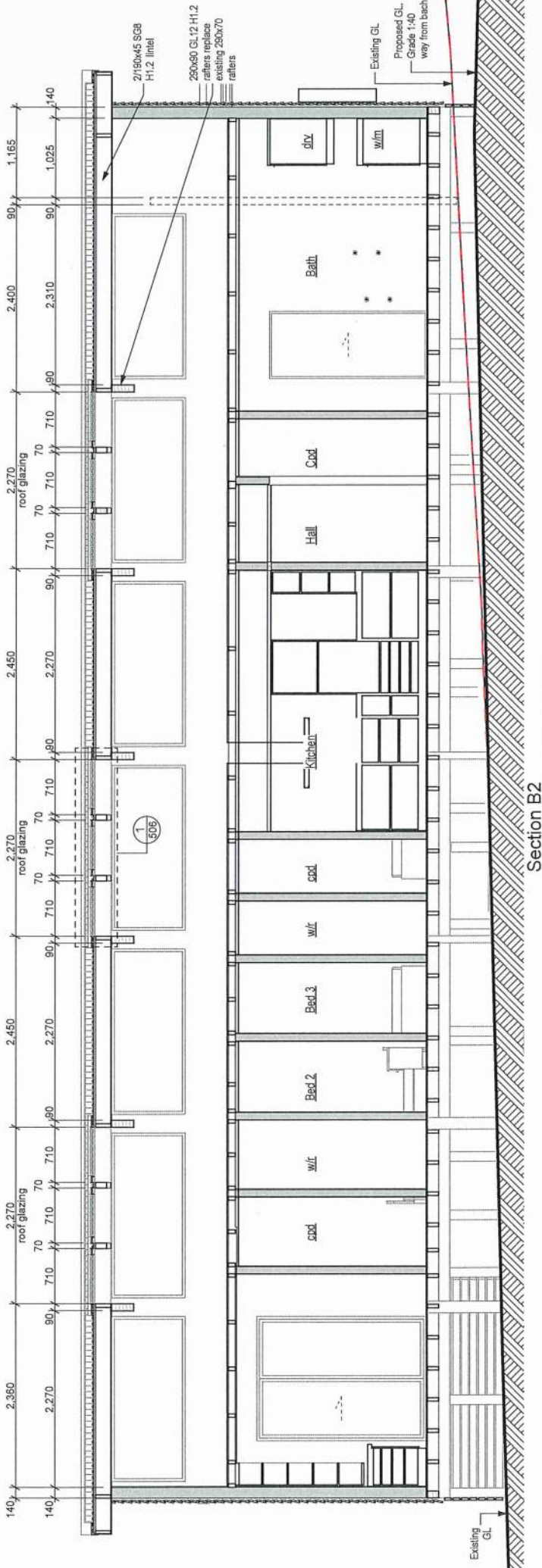


Section B3
1:20

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Section B1
1:50

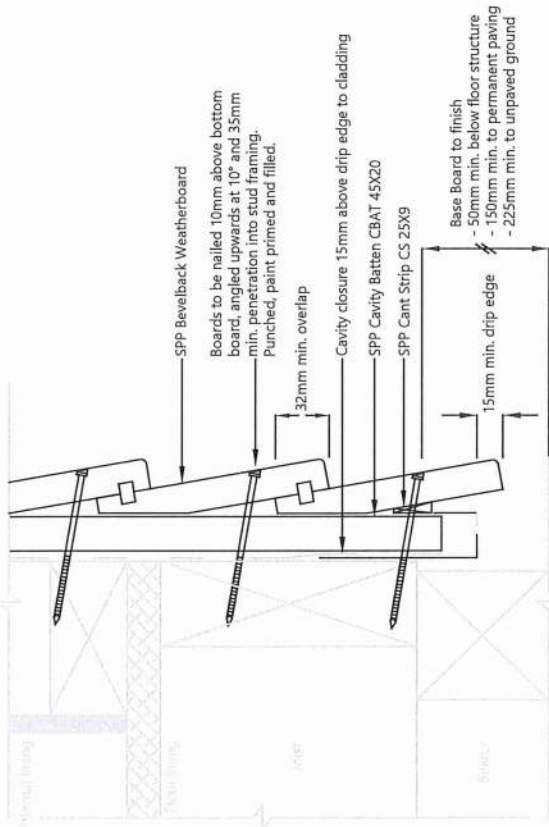


Section B2
1:50

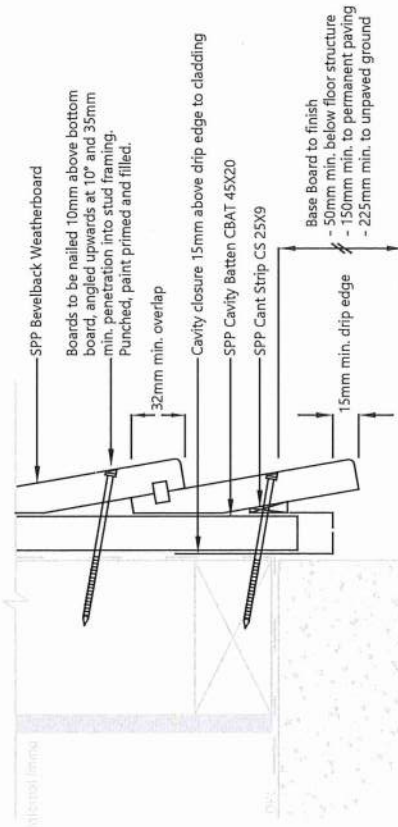
Check all dimensions on site. If in doubt consult Designer.		Issue	Issue Note	Date
		0	Building Consent Issue	23/07/2023
Bach Section B1 & B2				
Bach alteration for Mr & Mrs Lucas 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri			Job Ref	1808016
			Original Sheet Size	A3
			Sheet No	403
			Issue	0

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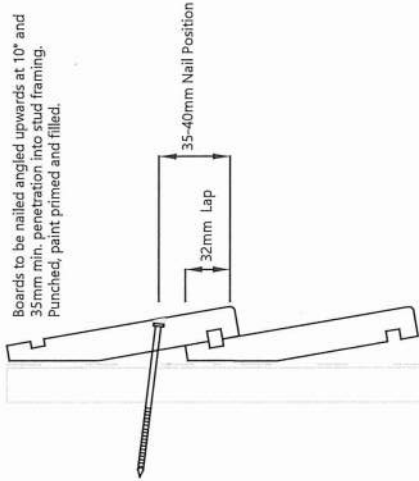


1 Base of Wall - Timber
 Refer also to Bach foundation Detail 1, sheet 203



2 Base of Wall - Concrete
 Refer also to Boat Shed foundation Detail 1, sheet 604

Bevelback Weatherboard
 BB 135X18 / BB 180X18
 BB 210 X19 / BB 240X19
 BB 140X21



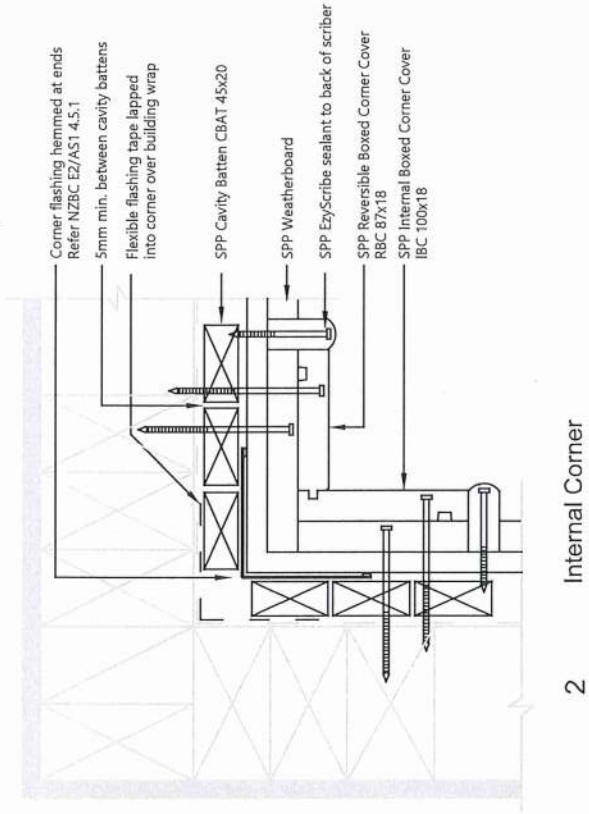
SPP Cavity Batten
 CBAT 45X20

Weatherboard and fascia should be installed as per the current building code. Please refer to BRANZ bulletin number 468, Fixing of Timber Weatherboards. See E2/AS1 for a complete list of fixing options.

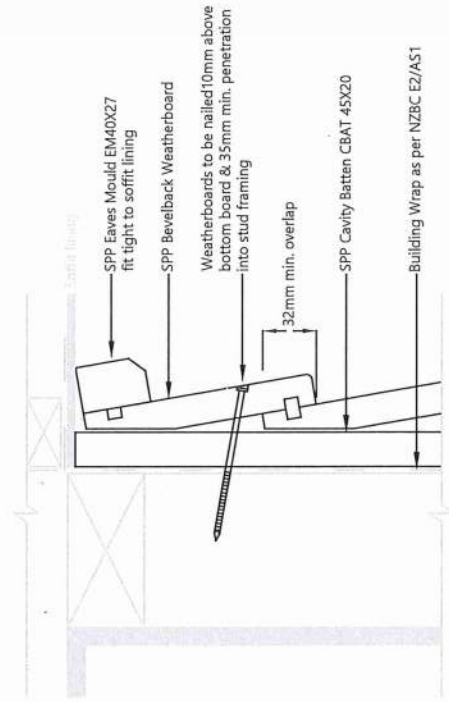
Avoid joining weatherboards whenever possible, but if unavoidable use a 45 degree scarf joint directly over studs or cavity batten. Angle mitre joints away from the prevailing weather and or use flat soaker. Alternatively a butt joint is acceptable using flat soakers.

3 Cavity Fix - Fixing Detail

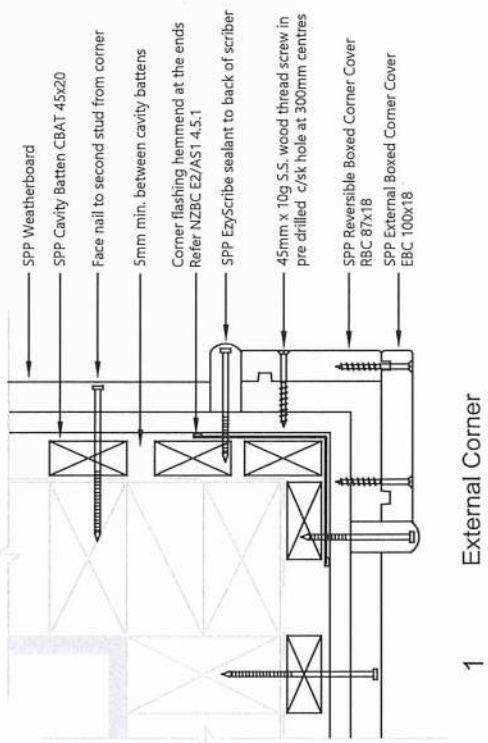
Baker Drafting Ltd Mechanical & Architectural Drafting Ph/Fax (03) 544 4872 Mob 027 544 4872	Check all dimensions on site. Do not scale from plans. If in doubt consult engineer.	Issue	Date	Bach alteration for Mr & Mrs Lucas 36 Kaiteriti - Sandy Bay Road, Kaiteriti	Job Ref 1808016 Original Sheet Size A3	Sheet No 501	Issue 0
		0	23/07/2023				



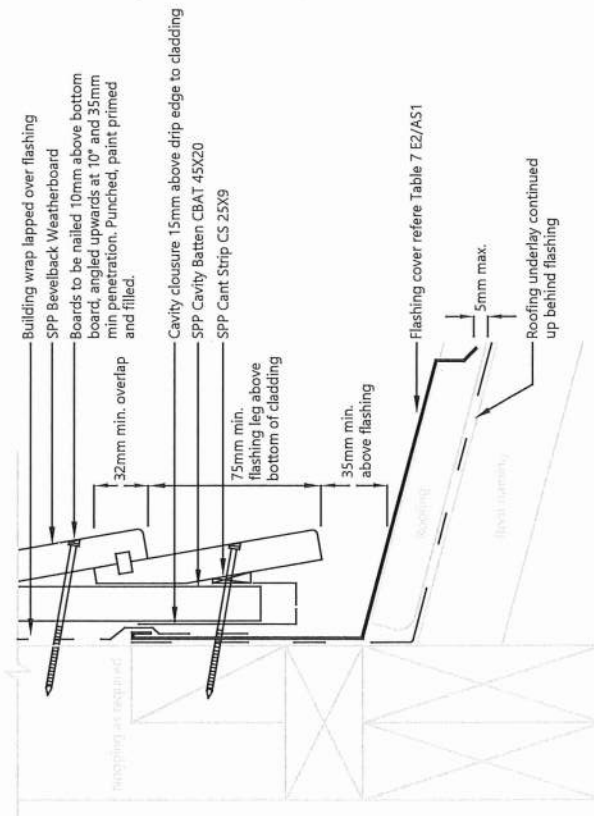
2 Internal Corner



4 Soffit



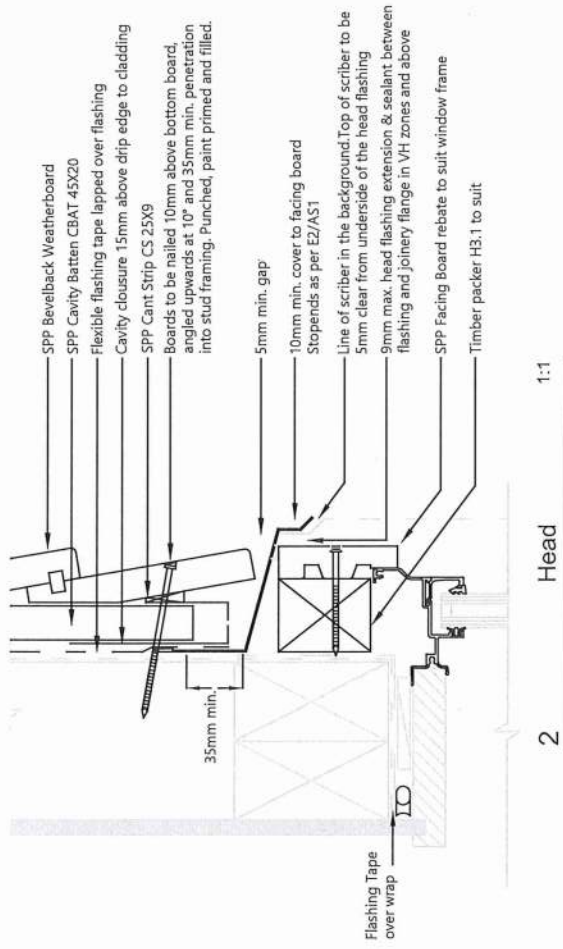
1 External Corner



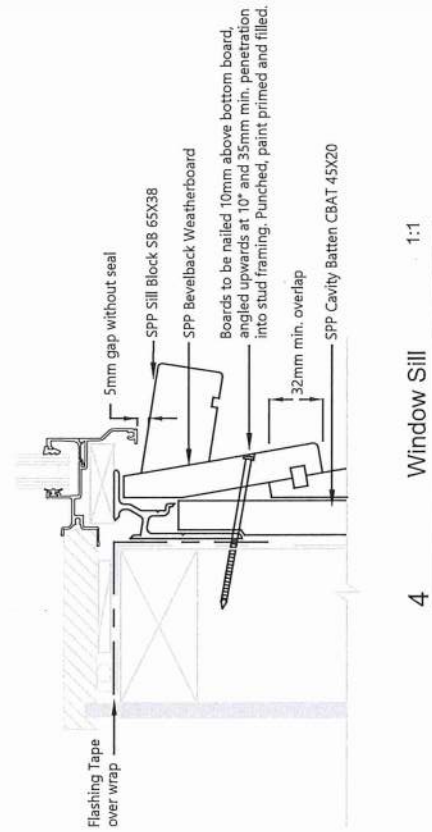
3 Apron

Refer also to Bach and Boat Shed Roof Details

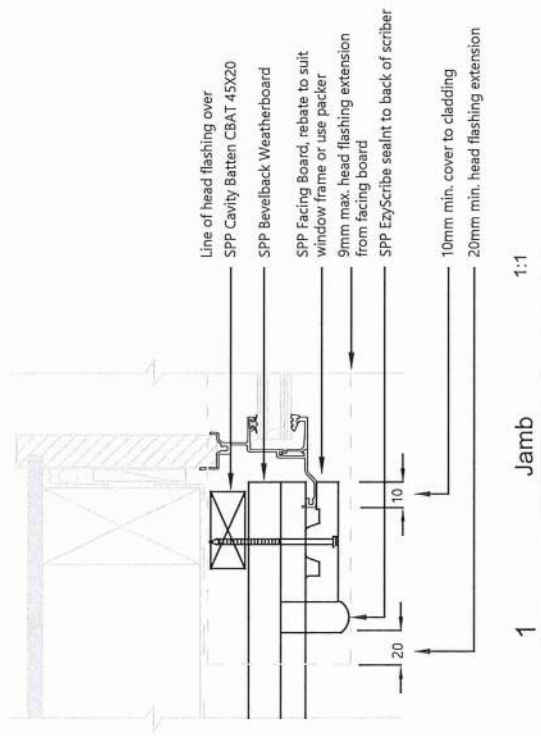
© COPYRIGHT Baker Drafting Ltd Mechanical & Architectural Drafting Ph: Fax (03) 544 4872 Mob: 027 544 4872	Check all dimensions on site. Do not scale from plans. If in doubt consult engineer.	Issue	Date	Bach alteration for Mr & Mrs Lucas 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri	Job Ref	Sheet No	Issue
		0	23/07/2023				
Bach + Boat Shed Cladding Details (2)				Original Sheet Size A3			



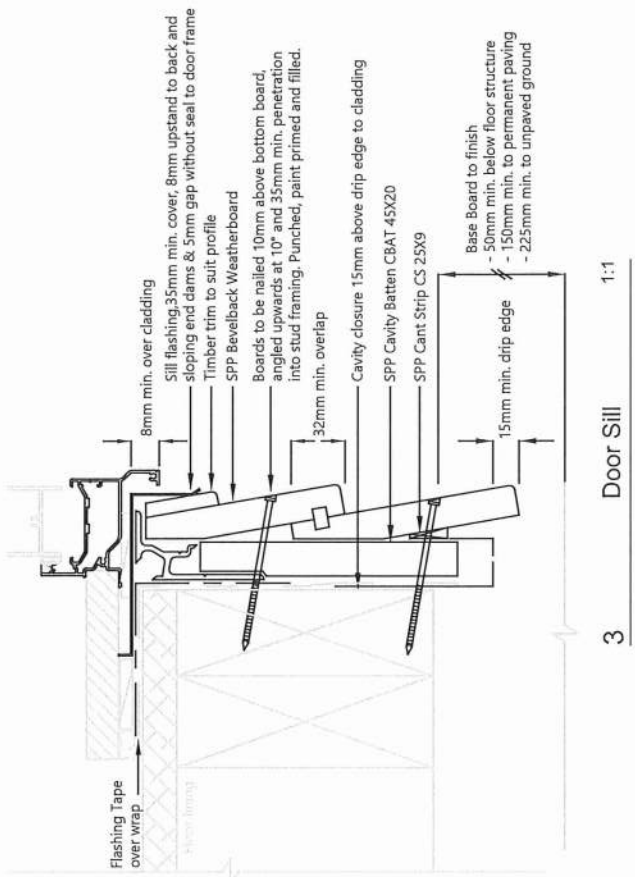
2 Head 1:1



4 Window Sill 1:1



1 Jamb 1:1



3 Door Sill 1:1

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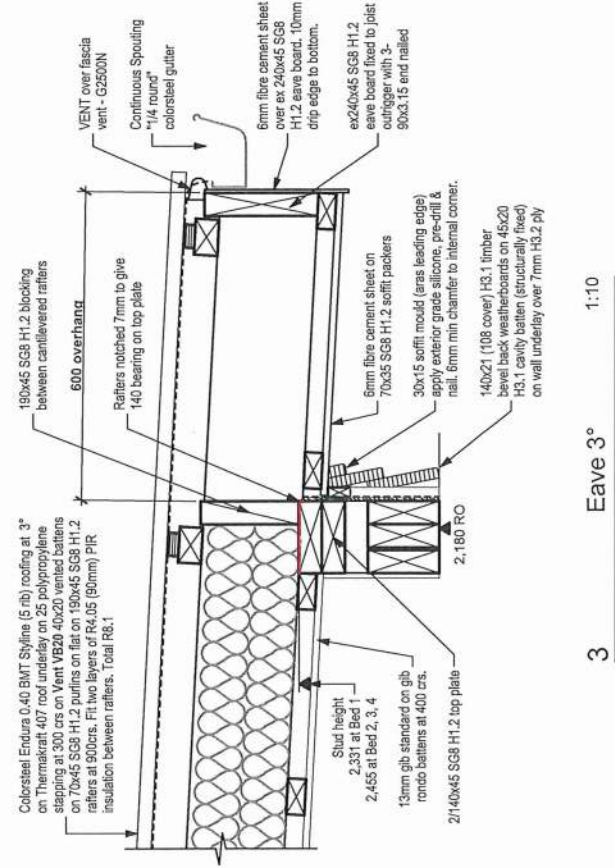
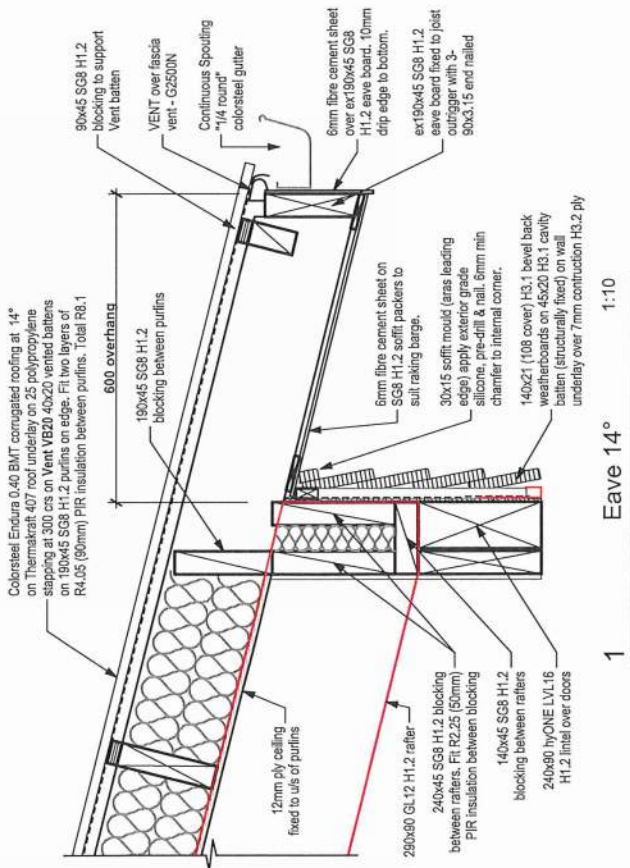
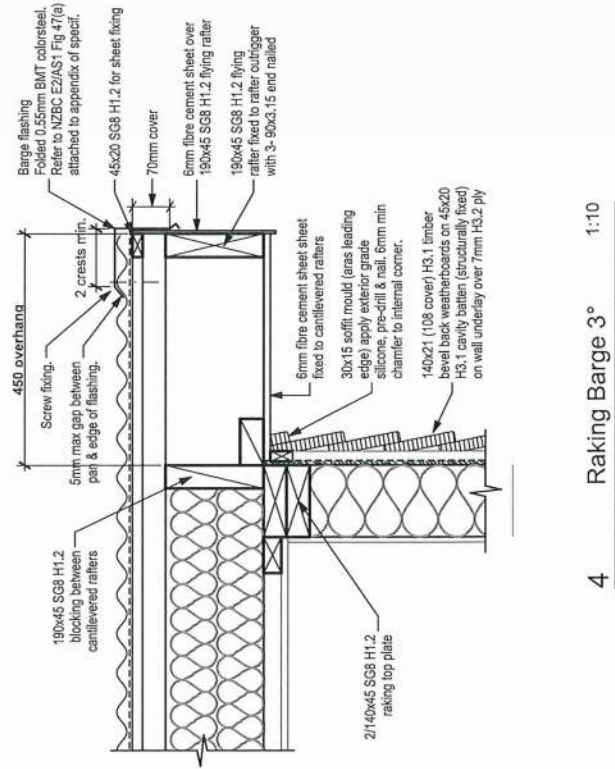
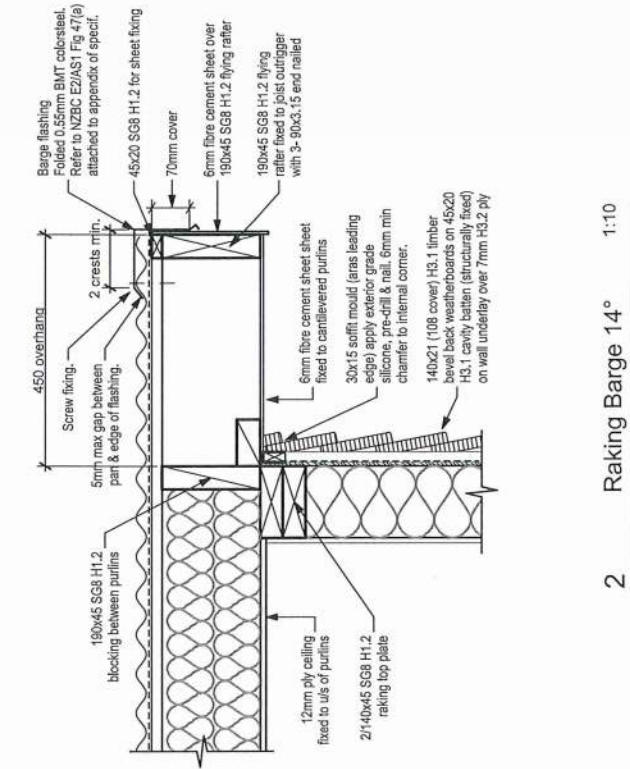
Check all dimensions on site. Do not scale from plans. If in doubt contact draughteer.

Bach + Boat Shed D & W Details

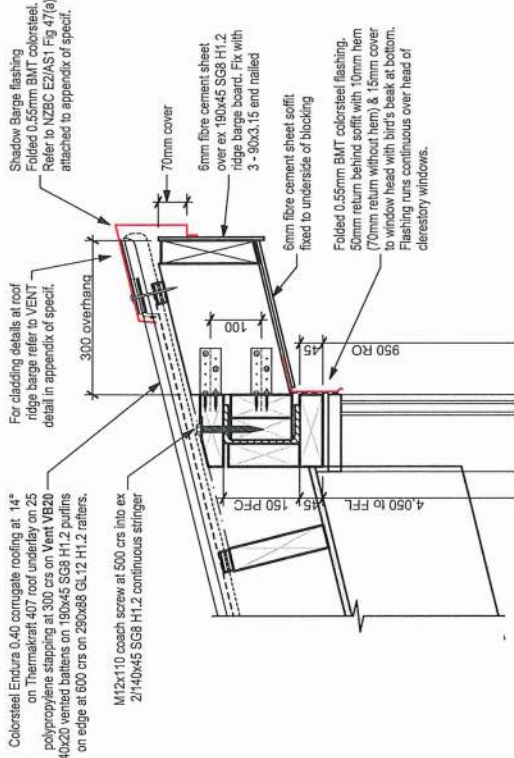
Bach alteration for Mr & Mrs Lucas
36 Kaiteriteri - Sandy Bay Road, Kaiteriteri

Job Ref 1808016
Original Sheet Size A3

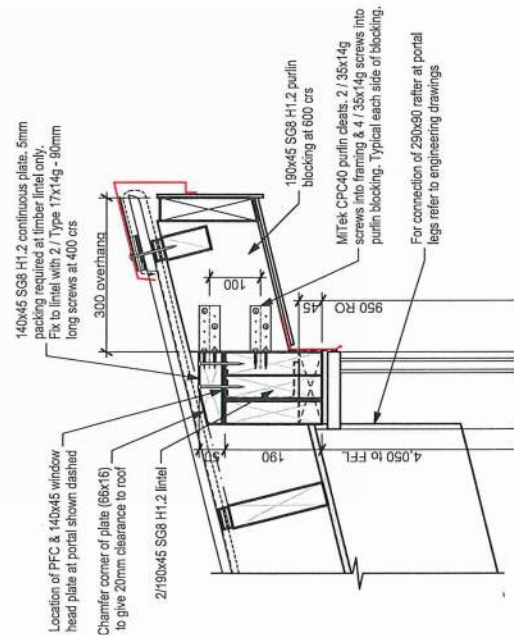
Sheet No 503
Issue 0



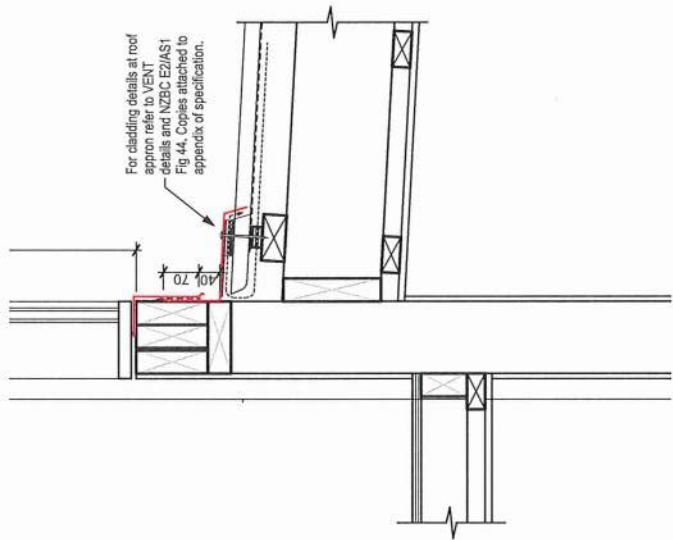
Bach alteration for Mr & Mrs Lucas 36 Kaititeri - Sandy Bay Road, Kaititeri		Job Ref Original Sheet Size A3	1808016	Sheet No 504	Issue 0
Bach Roof Details (1)		Issue No	0	Date	23/07/2023
Check all dimensions on site. If in doubt consult designer.		Issue Note	Buildings Consent Issue		



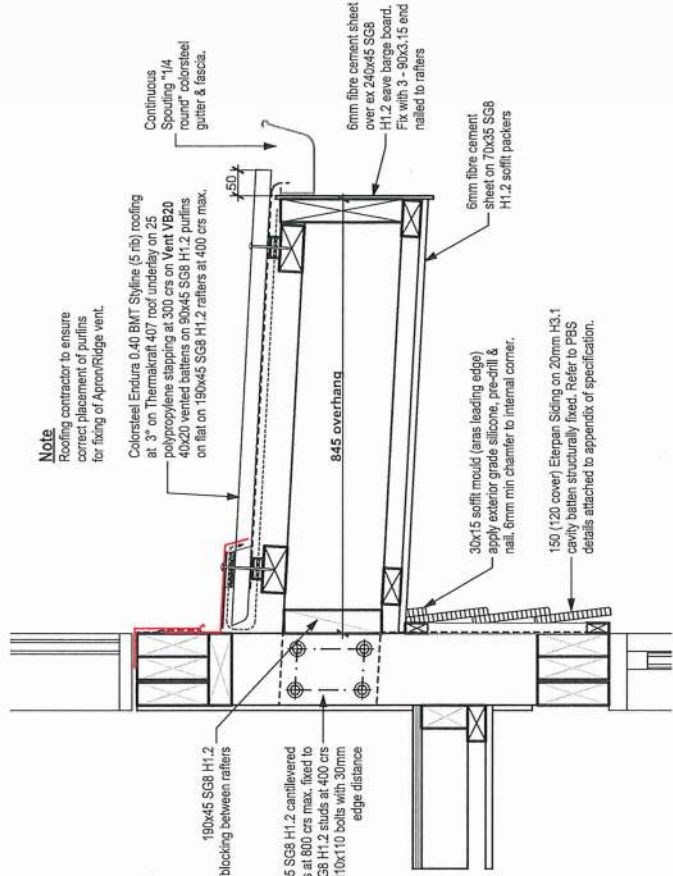
2 Ridge Barge at PFC 1:10



1 Ridge Barge at Lintel 1:10

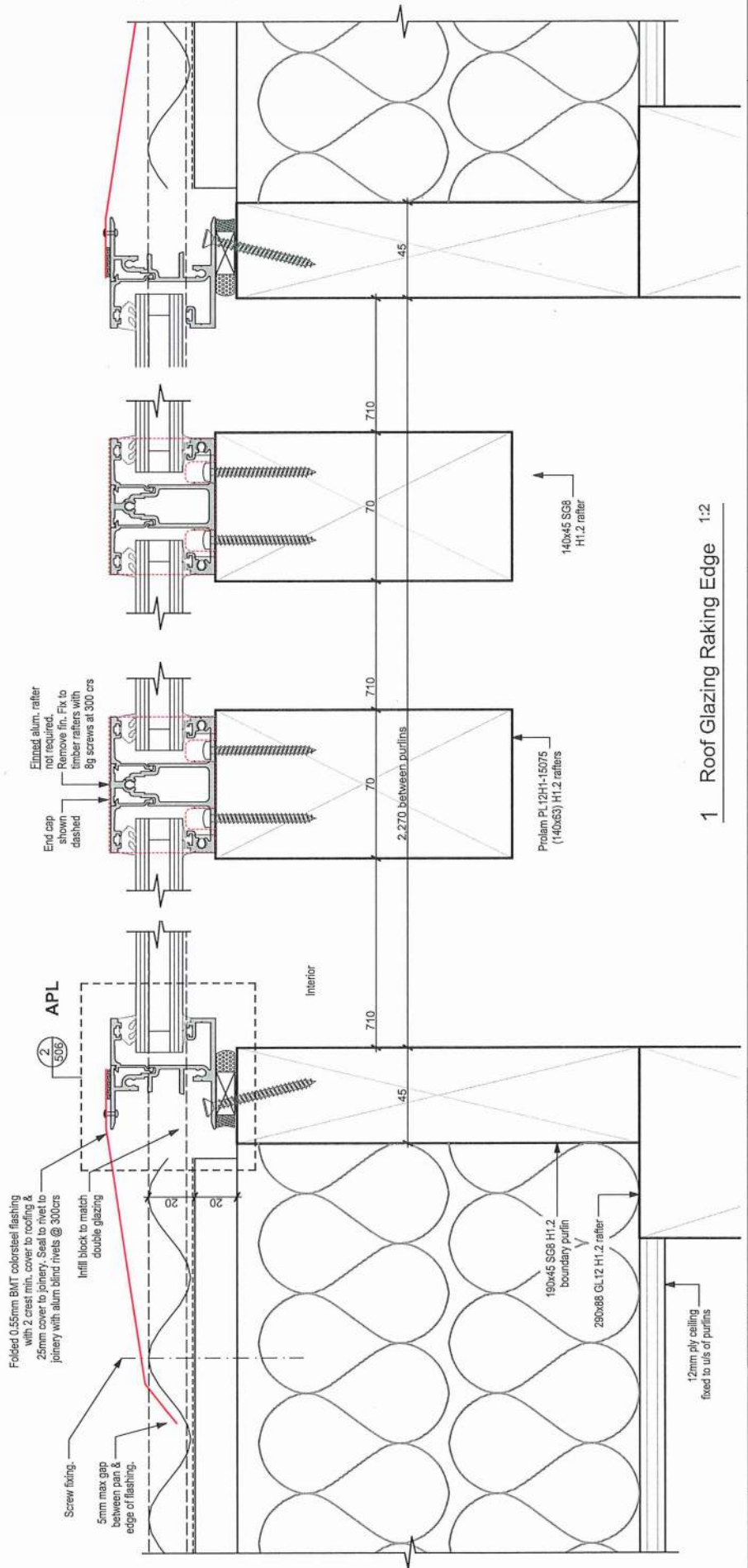


3 Roof Apron 1:10



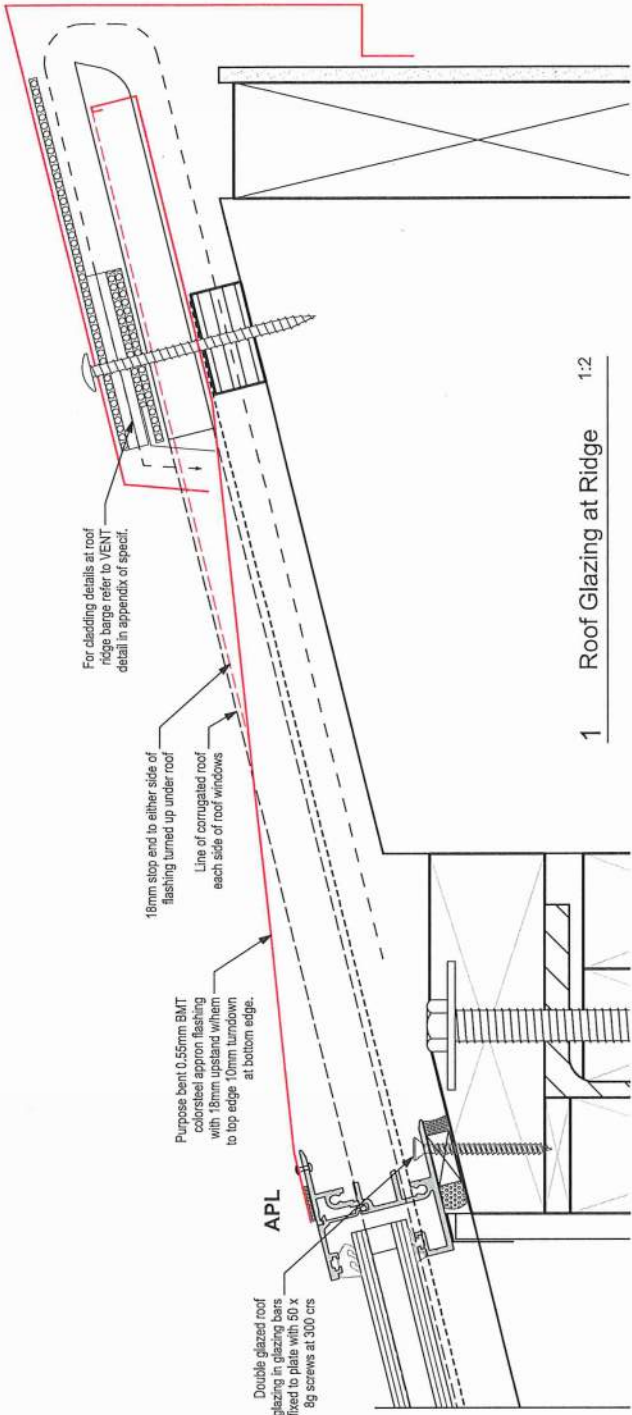
4 Cantilevered Roof Apron 1:10

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		0	Building Consent Issue	23/01/2023
Bach Roof Details (2)		Job Ref	1808016	Sheet No
Bach alteration for Mr & Mrs Lucas 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri		Original Sheet Size	A3	505
		Issue		0

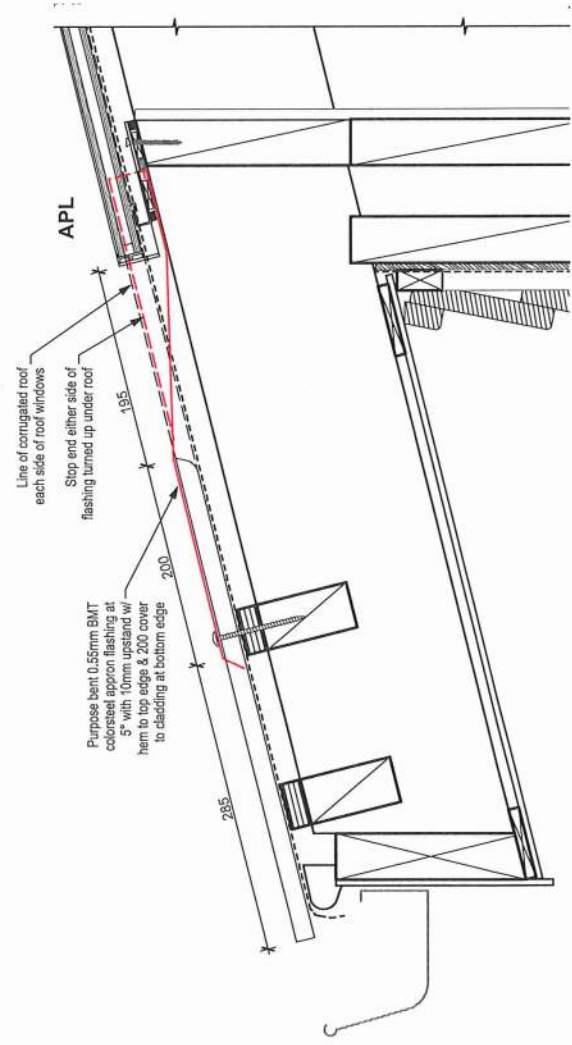


1 Roof Glazing Raking Edge 1:2

Check all dimensions on site. Do not scale from plans. If in doubt consult designer.	Issue No 0	Issue Date 23/07/2023
	Issue No 0	Issue Date 23/07/2023
Bach Roof Glazing Details (1)	Bach alteration for Mr & Mrs Lucas 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri	Job Ref 1808016
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1 Roof Glazing at Ridge 1:2



2 Roof Glazing at Eave 1:5

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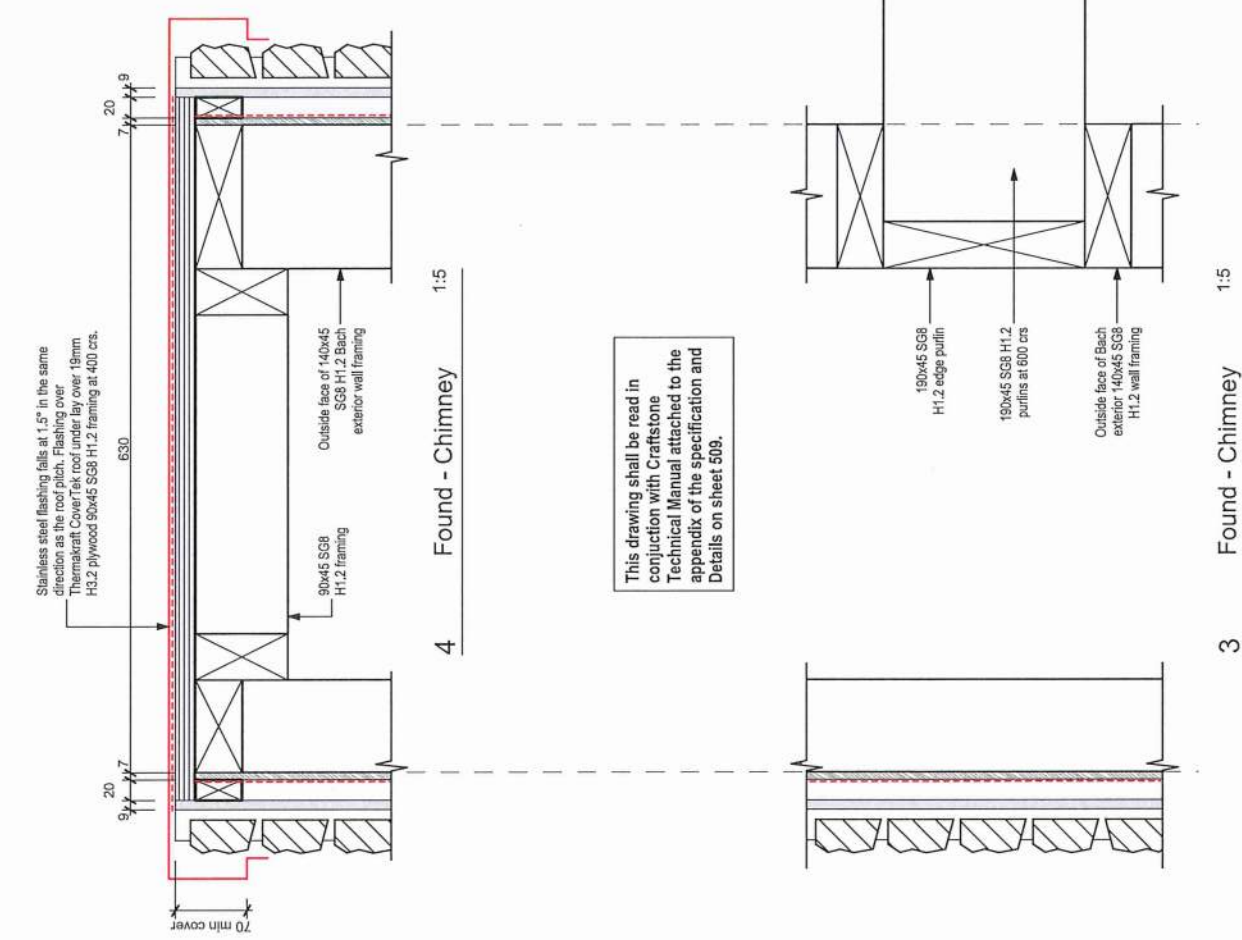
Issue	Issue No	Date
0	0	23/01/2023
Building Consent Issue		

Bach Roof Glazing Details (2)

Bach alteration for Mr & Mrs Lucas
 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri

Job Ref 1808016
 Original Sheet Size A3

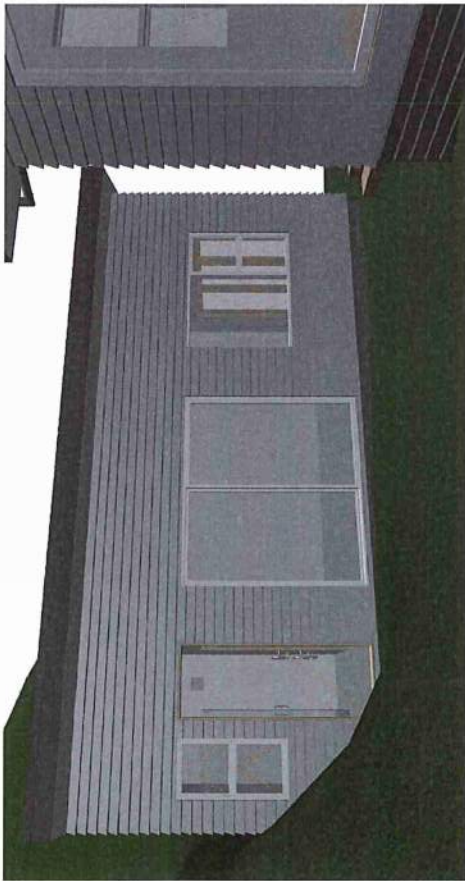
Sheet No 507
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Check all dimensions on site. Do not scale from plans. If in doubt consult designer.	Issue Note 0 Building Consent issue	Date 23/07/2023	Bach Chimney Details	Bach alteration for Mr & Mrs Lucas 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri	Job Ref 1808016	Original Sheet Size A3	Sheet No 508	Issue 0
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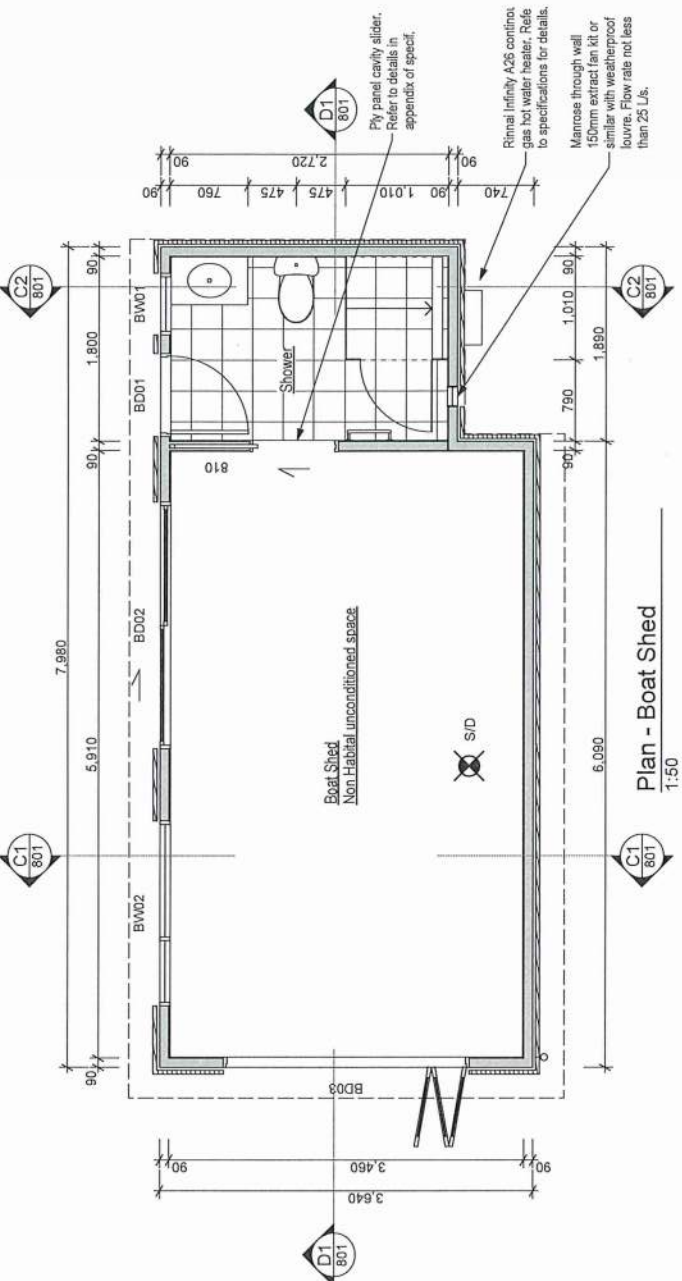


Boat Shed from North



Boat Shed from South

- Notes General**
- 1) Site measure all windows.
 - 2) For cladding & window flashing details refer to details in the appendix of the specification.
 - 3) For door and window joinery schedule refer to sheet 602.
 - 4) All timbers to be SGR H1.2 treated u.n.o.
 - 5) Refer to the NZ Building Code & NZS3604:2011 for all assembly & construction details not indicated on these drawings.
- Wet Area Finishes**
- Floor:**
 Tiles to be laid on Ardex X18 tile adhesive on Ardex WPM 002 wet area membrane system over Hardies 6mm Slate & Tile underlayment over 19mm ply flooring.
- Walls within Shower Area:**
 Tiles to be laid on Ardex X18 tile adhesive on Ardex WPM 002 wet area membrane system over 9mm Hardie Fibreboard to the shower areas.
 Walls outside the Shower Area:
 Tiles to be laid on Ardex X18 tile adhesive over 9mm Hardies Villoboard.
- Ceiling:**
 Paint finish over 13mm Gb Aqualine.
- Note:**
 1. Details of Ardex wet area membrane & Ardex adhesive attached to appendix of specification.
 2. For extent of cover of the wet area membrane refer to the Code of Practice of Internal Wet Area Membranes Figure 12. Extract of Code attached to appendix of the specification.
 3. Refer also to Paint & Tiling Sections of Specification.



Plan - Boat Shed
1:50

- Framing Notes**
- External Walls:**
 50x45 S38 H1.2 studs at 400 crs. Dwarfs at 600 crs.
- Internal Walls:**
 50x45 S38 H1.2 studs at 400 crs. Dwarfs at 800 crs.
- Bottom plate Fixing:**
 External walls: Use Ramsel M12x140 Truebolts at 600 crs. All bracing panels use Ramsel M12x160 (AS12150CH) screw anchors at 600 crs. Bolts set 75mm min into slab.
- Internal walls:** Use Ramsel M12x140 Truebolts at 900 crs. All bolts set 75mm min into slab with 50x50x3 washers against all timber.
- Additional fixing required at bracing panels. Refer to the Bracing Plan for location.
- Legend**
- S/D Smoke Detector / Alarm
 - Location of Smoke Alarms
- All hallway and living areas, All bedrooms, or within 3m of a sleeping place provided the alarms are audible to the sleeping occupants of the other side of the closed doors.
 Ceiling mounted - 300 min. to from wall.
 Wall mounted - 300 min. from ceiling.
- Smoke Alarm Type**
 Smoke detectors shall have a readily accessible test facility, and also a hush facility with a minimum duration of 60 seconds.
 Shall meet one of the following standards: UL 217, CANULC 5531, AS 3786, BS 5446 P1.

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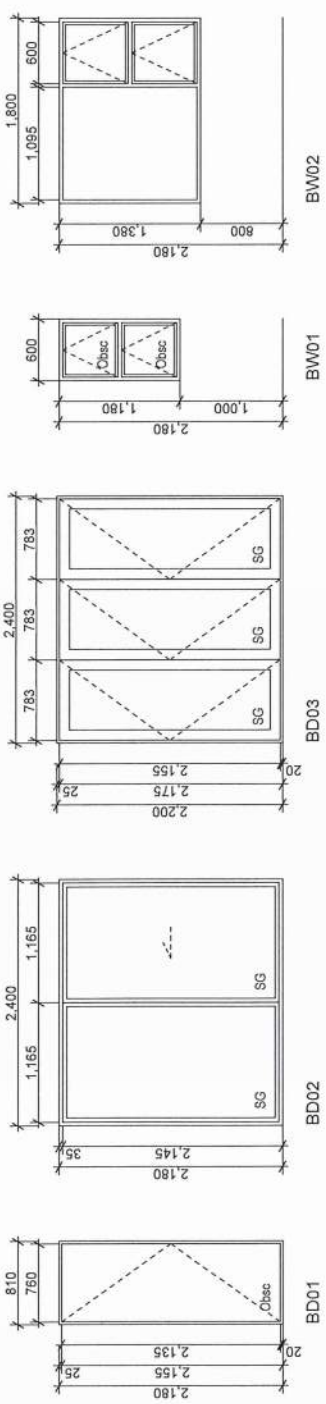
Issue	Issue Note	Date
0	Building Consent Issue	23/07/2023

Boat Shed Floor Plan & 3D Views

Bach alteration for Mr & Mrs Lucas
 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri

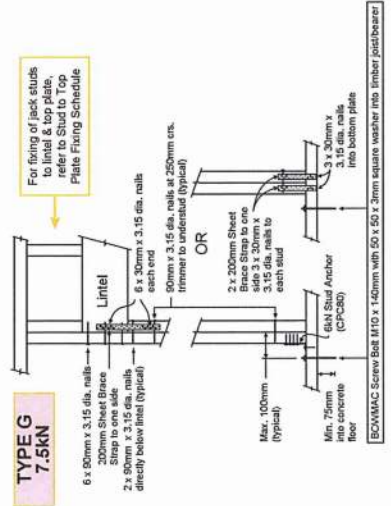
Job Ref 1808016
 Original Sheet Size A3

Sheet No 601
 Issue 0

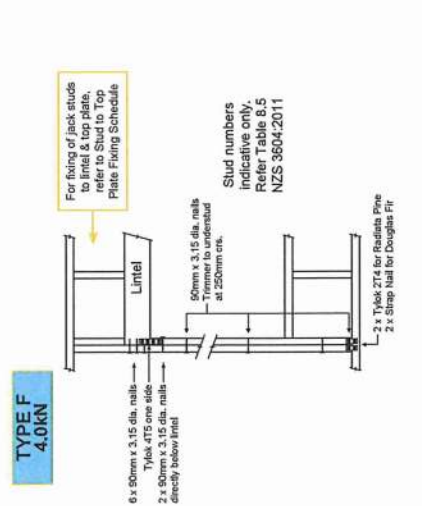


- D. & W. Notes**
- All doors & windows shall be double glazed in aluminium joinery.
 - Opening sizes given are trim opening / rough opening (RO) sizes.
 - Allow 10mm space all around between window and door joinery and framing rough opening (allowing for flashing tapes etc).
 - Colour - Refer to Builder.
 - Sill heights are measured to floor level.
 - Doors & windows shown as viewed from outside.
 - Apex of arrow rotation points to hinged side of window / door.
 - Top hung sashes shall be hung on awning type friction slays.
 - Glazing as per specification to conform to NZS 4223.
 - Rebate all exterior doors, contractor to confirm rebate size with door manufacturer.
 - Exterior windows and doors to perform to requirements of NZS 4211- VERY HIGH Wind Zone.
- SG = Decolux grade A safety glass.
Obsc = Obscure grade A safety glass.

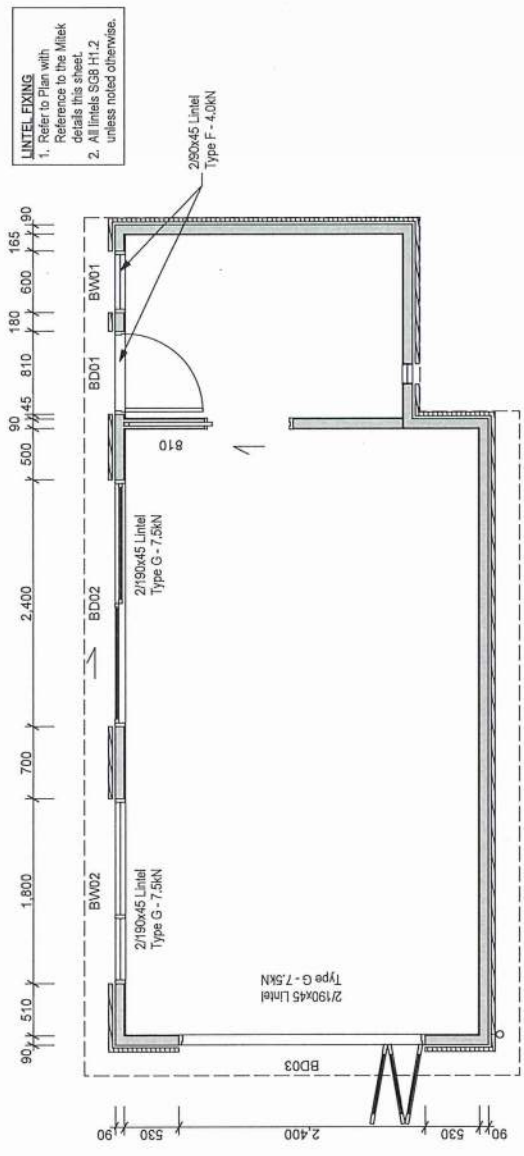
D & W Schedule- Boat Shed
1:50



TYPE G 7.5kN



TYPE F 4.0kN



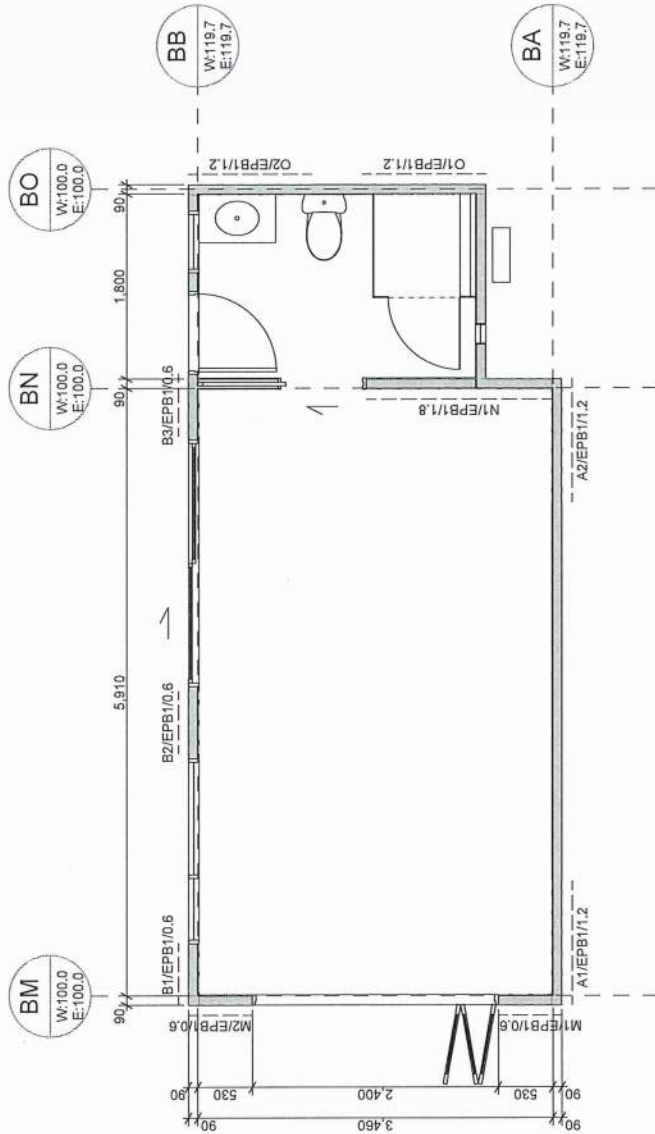
Boat Shed - D&W Plan
1:50

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		Issue No	23/01/2023	Job Ref	Original Sheet Size A3	Bach alteration for Mr & Mrs Lucas 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri	

BRACING CALCULATIONS		Wind Zone	Earthquake Zone	Soil Class	TABLE: B
Location of Storey	Single	No	Very High	2	Very High
Room in Roof Space	3.6m	8.0m	E - Very Soft		
Building Width (BW)	27.65m*	4m	W along	58.5BU/m	
Building Length (BL)	4m	1m	W along x BW	272.9BU	
Gross Floor Area (GFA)	0 - 25°	Monopitch	W across	58.5BU/m	
Floor Height to Apex	Yes	EQ	W across x BL	466.6BU	
Floor Height Above Eaves	2kPa	EQ x GFA		4.8BU/m*	
Roof Pitch	Concrete Floor	Light		132.7BU	
Roof Style	Light				
Double Top Plate	Light				
Floor Load	Light				
Cladding Weights:	Light				
- Subfloor					
- Wall					
- Roof					
					Calculations based on NZS3604:2011

BRACING ALONG		Provided	Required	Achieved	W	EQ			
Line	W BU	EQ BU	Brace Type	W BU	Length m	Height m	Angle	W BU	EQ BU
BA	119.7	119.7	A-1 EPB1	120.0	1.2	2.4	-	144.0	144.0
			A-2 EPB1	120.0	1.2	2.4	-	144.0	144.0
BB	119.7	119.7	B-1 EPB1	95.0	105.0	0.6	3.3	41.5	45.8
			B-2 EPB1	95.0	105.0	0.6	3.3	41.5	45.8
			B-3 EPB1	95.0	105.0	0.6	3.3	41.5	45.8
Total								124.4	137.5
								Achieved	412.4
								Required	212.9
									132.7

BRACING ACROSS		Provided	Required	Achieved	W	EQ			
Line	W BU	EQ BU	Brace Type	W BU	Length m	Height m	Angle	W BU	EQ BU
BM	100.0	100.0	M-1 EPB1	95.0	105.0	0.6	2.5	56.5	62.5
			M-2 EPB1	95.0	105.0	0.6	3.2	44.2	48.8
BN	100.0	100.0	N-1 EPB1	120.0	120.0	1.8	2.6	100.7	111.3
			N-2 EPB1	120.0	120.0	1.8	2.6	199.4	199.4
BO	100.0	100.0	O-1 EPB1	120.0	120.0	1.2	2.7	128.0	128.0
			O-2 EPB1	120.0	120.0	1.2	3.1	111.5	111.5
Total								239.5	239.5
								Achieved	539.6
								Required	458.8
									132.7



Boat Shed - Bracing
 1:50

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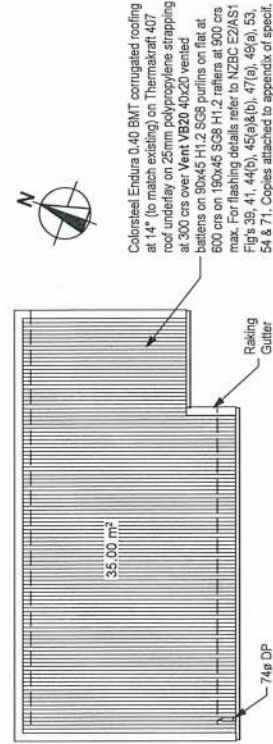
Check all dimensions on site.
 Do not scale from plans.
 If in doubt consult designer.

Issue	Issue Note	Date
0	Building consent issue	23/01/2023

Boat Shed Bracing Plan & Calculation

Bach alteration for Mr & Mrs Lucas
 36 Kaiteriti - Sandy Bay Road, Kaiteriti

Job Ref 1808016
 Original Sheet Size A3
 Sheet No 603
 Issue 0



House Downpipe Calculation

Roof plan areas to comply with NZBC E1/AS1 Table 5
For min. DP size, 74g = 85m²
Roof plan area = 35m²
1 - 74g DP required

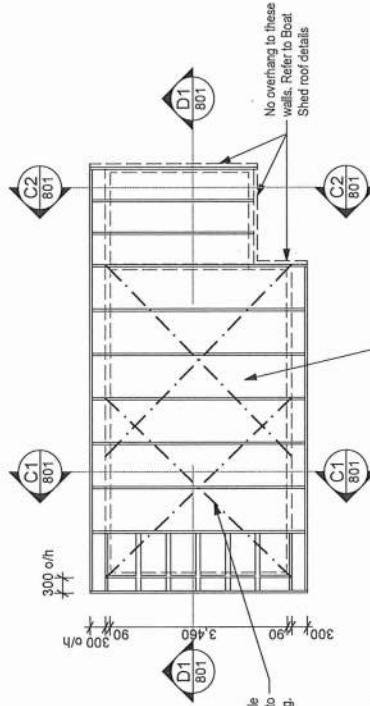
Gutter Calculation

Max roof area to section of gutter = 35m²
From NZBC E1/AS1 Fig 15
Min. x-section area
4,500 x (87/100) = 3,435mm²
Use Continuous Spouting "1/4 Round" spouting (6,300mm²)

Colorsteel Endura 0.40 BMT corrugated roofing at 14° (to match existing) on Thermakraft 407 roof underlay on 25mm polypropylene strapping at 300 c/s over Vent VB20 40x20 vented battens on 90x45 H1.2 SGB purlins on flat at 600 c/s on 190x45 S38 H1.2 rafters at 900 c/s max. For flashing details refer to NZBC E2/AS1 Figs 39, 41, 44(b), 45(a)&(b), 47(a), 49(a), 53, 54 & 71. Copies attached to appendix of spec.

Boat Shed Roof Plan

1:100



Fixing Requirements

Top Plate Fixing
1/ SL170 Mitek Stud-tek plus 2/ 90x3.15 nails per stud. Refer to MITEK Stud-Hok details attached to the appendix of the specification.
Rafter Fixing - 8.0kN/pair
Pair of Mitek Lumberlok CPC-40 cleats.
Purlin Fixing - 2.4kN
1/ 100x14g self drilling Type 17 screw.
Lintel Fixing
Refer to D & W Plan.

Crossed centralines denotes single 27,000,55mm strap roof plane bracing. Refer to roof plane bracing note this drawing for fixing.

Roof Plane Bracing Notes

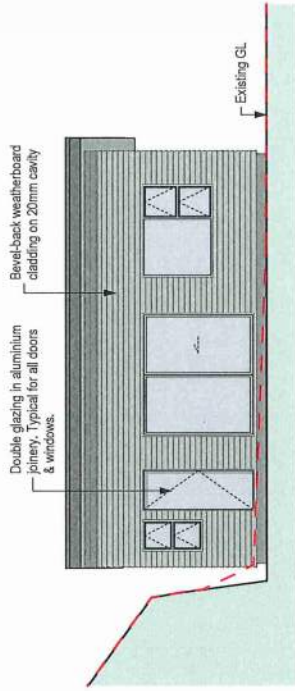
- 1) Mitek Lumberlok strip brace (27x0.55mm G550 Z275 galv steel).
- 2) Fdd over each end of strap & fix with 5/ 75x3.15 galv FH nails with 2 nails in top face & 3 nails in vertical face (not in same plane).
- 3) After tensioning strap fix to each rafter with 2/ 75x3.15mm galv FH nails.

Boat Shed Roof Framing

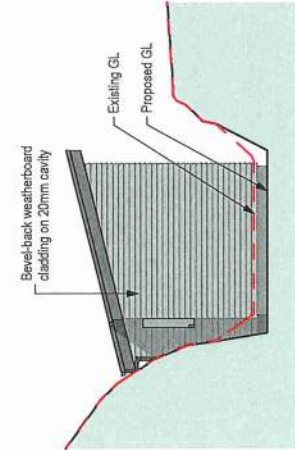
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Check all dimensions on site. If not, refer to plans. If in doubt, consult draught.	Issue	Issue Note	Date
	0	Building Consent Issue	23/01/2023
Baker Drafting Ltd Mechanical & Architectural Drafting Ph: 03 544 4872 Mob: 027 544 4872	Boat Shed Roof + Roof Framing Plan		
	Bach alteration for Mr & Mrs Lucas 36 Kaiteriti - Sandy Bay Road, Kaiteriti		
Job Ref	1808016	Sheet No	Issue
Original Sheet Size	A3	605	0

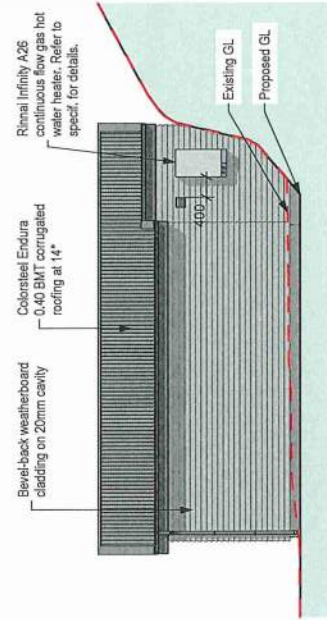
BUILDING ENVELOPE RISK MATRIX	
All Elevations	
Risk Factor	Risk Severity Risk Score
Wind zone (per NZS 3604)	Very high risk 2
Number of storeys	Low risk 0
Roof/wall intersection design	High risk 3
Eaves width	Very high risk 5
Envelope complexity	Low risk 0
Deck design	Low risk 0
Total Risk Score:	10



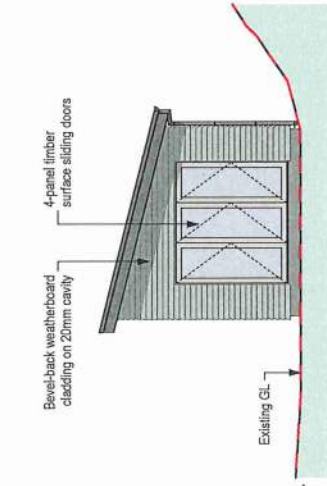
North Elevation
1:100



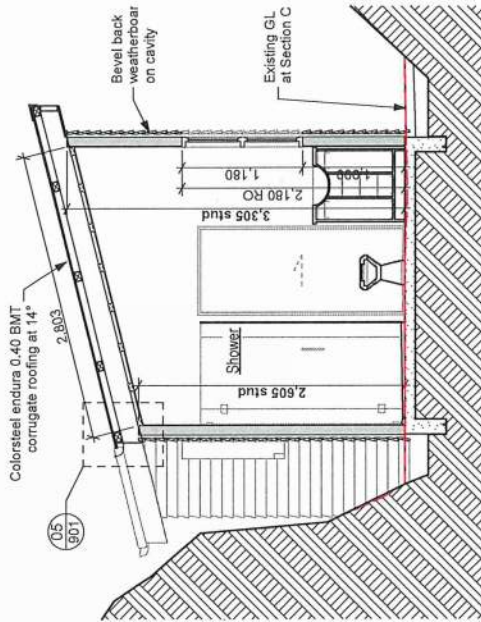
East Elevation
1:100



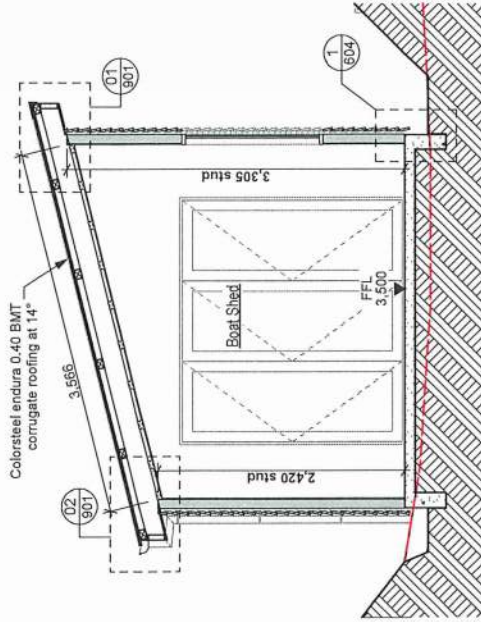
South Elevation
1:100



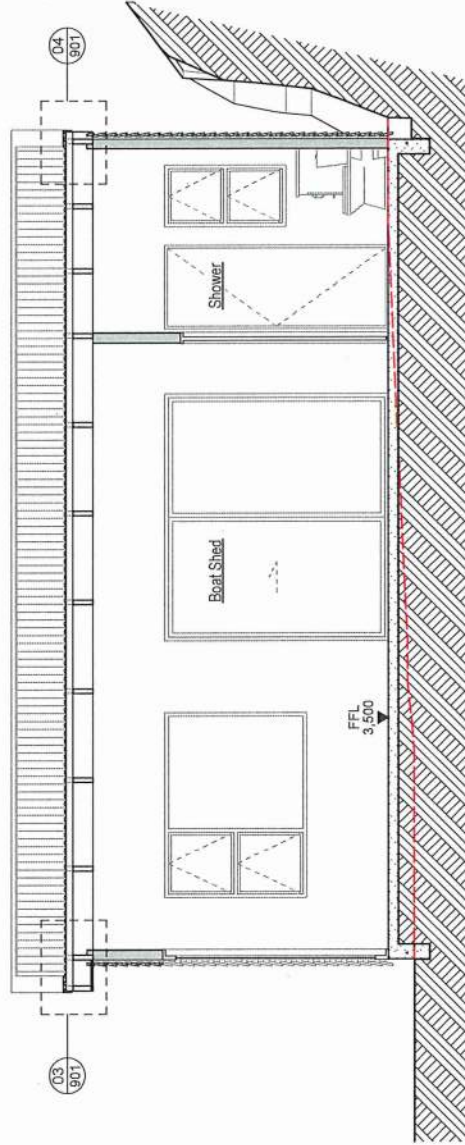
West Elevation
1:100



Section C2
 1:50



Section C1
 1:50



Section D1
 1:50

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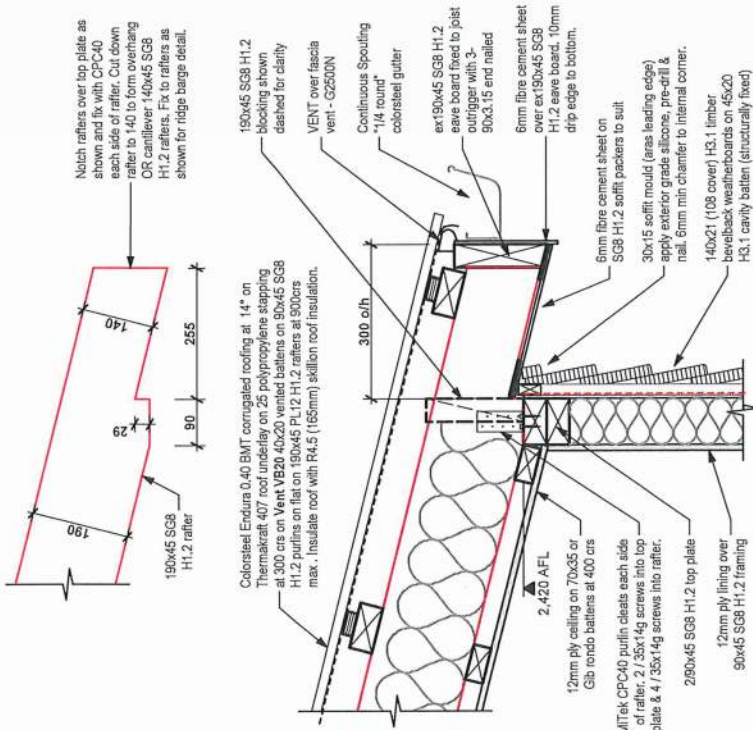
Issue	Issue No	Date
0	Building Consent Issue	23/01/2023

Boat Shed Sections

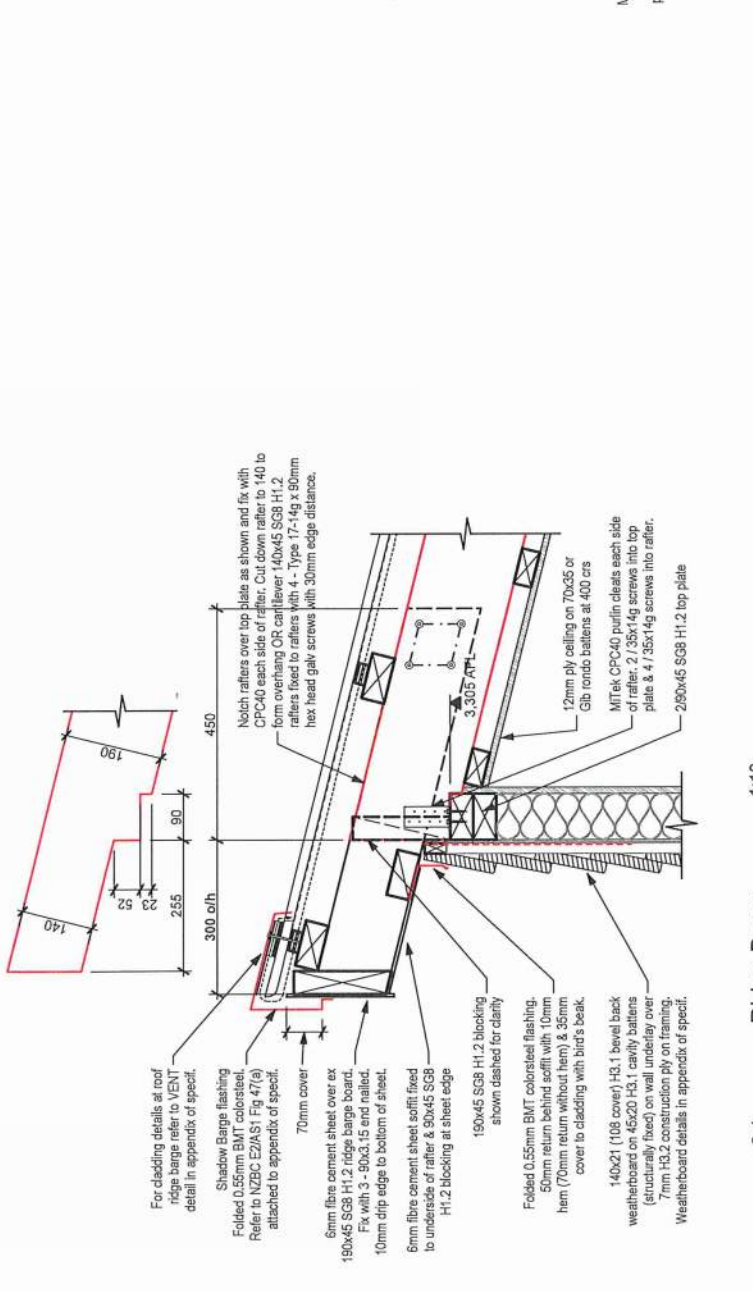
Bach alteration for Mr & Mrs Lucas
 36 Kaiteriten - Sandy Bay Road, Kaiteriten

Job Ref 1808016
 Original Sheet Size A3

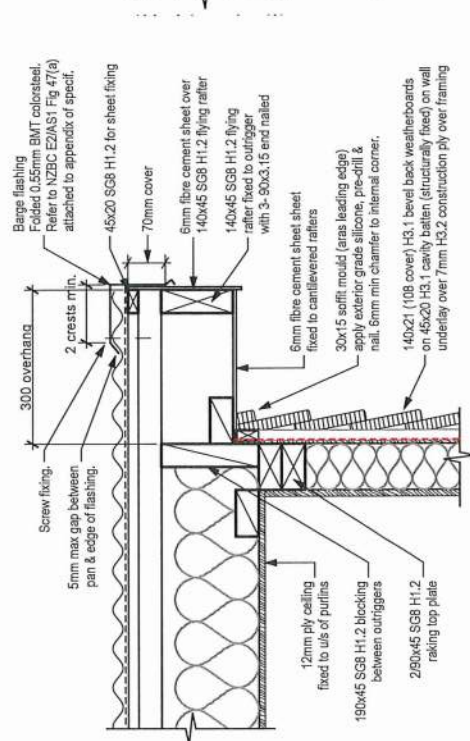
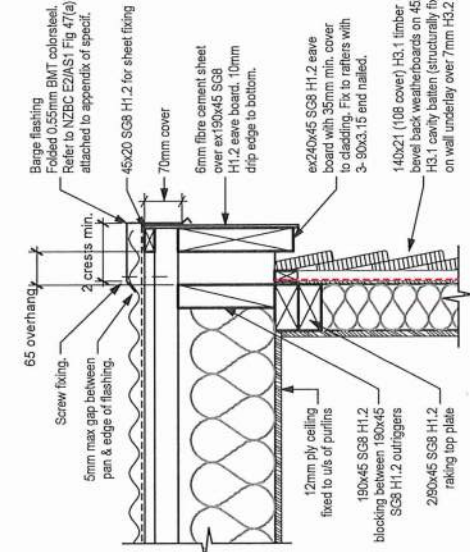
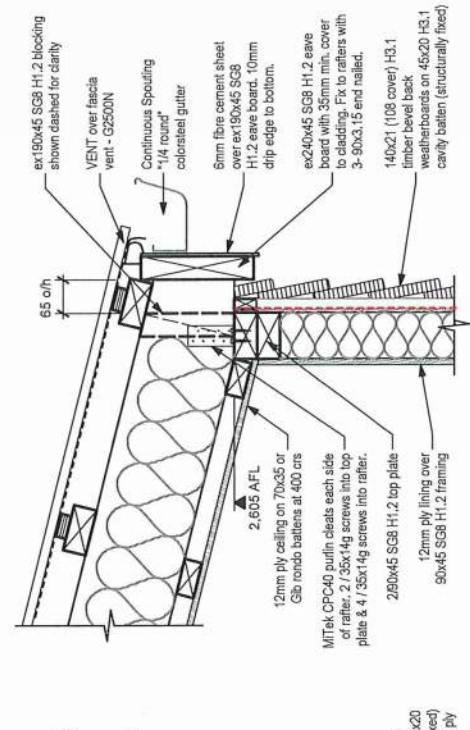
Sheet No 801
 Issue 0



01 Ridge Barge 1:10



02 Eave 300 o/h 1:10



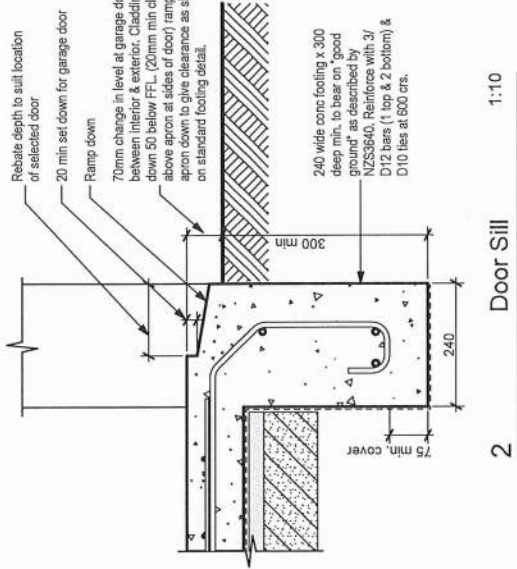
03 Raking Barge 300 o/h 1:10

04 Raking Barge 65 o/h 1:10

05 Eave 65 o/h 1:10

02 Eave 300 o/h 1:10

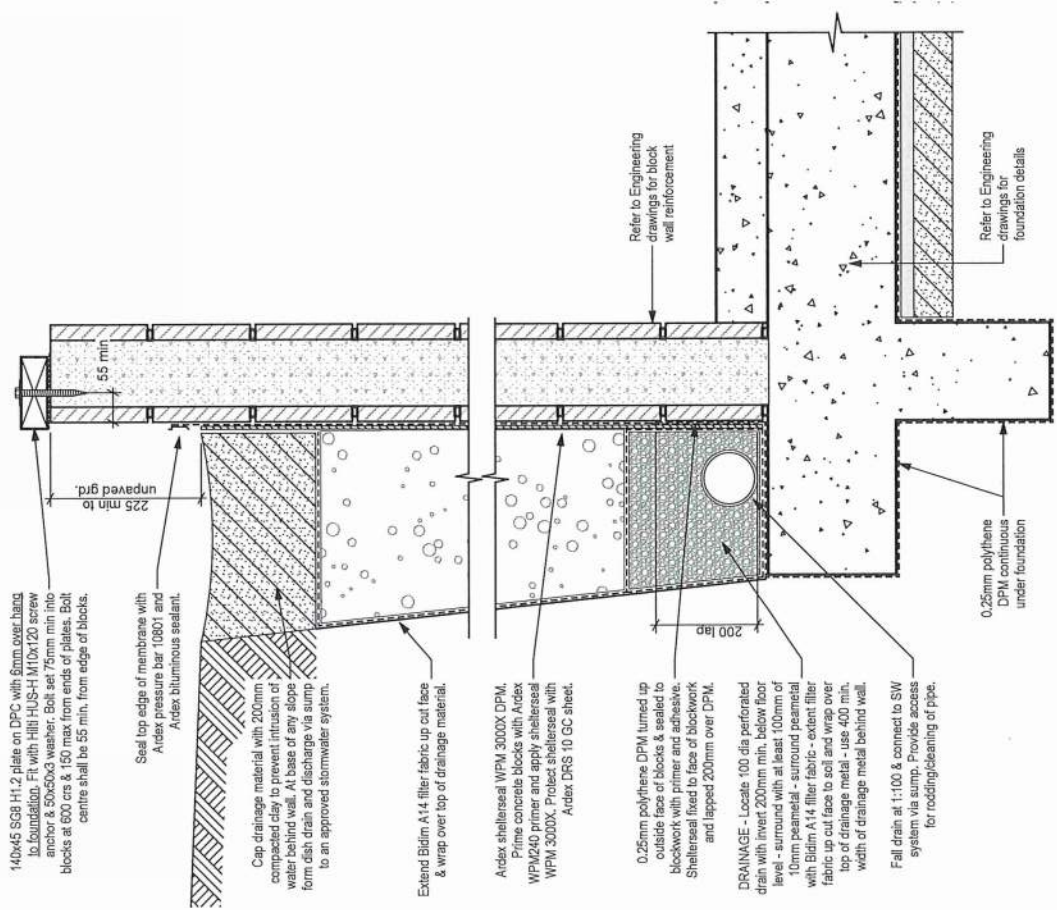
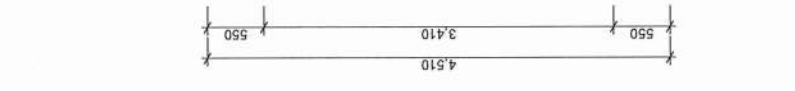
<p>© COPYRIGHT</p> <p>Baker Drafting Ltd Mechanical & Architectural Drafting Ph/Fax (03) 544 4872 Mob 027 544 4872</p>	<p>Check all dimensions on site. Do not scale from plans. If in doubt consult designer.</p>	<p>Issue 0</p>	<p>Issue Date 23/01/2023</p>	<p>Building Consent Issue</p>	<p>Job Ref 1808016</p>	<p>Sheet No 901</p>	<p>Issue 0</p>
		<p>03 Raking Barge 300 o/h 1:10</p>	<p>04 Raking Barge 65 o/h 1:10</p>	<p>05 Eave 65 o/h 1:10</p>	<p>02 Eave 300 o/h 1:10</p>	<p>Bach alteration for Mr & Mrs Lucas 36 Kaiteriten - Sandy Bay Road, Kaiteriten</p>	<p>Original Sheet Size A3</p>



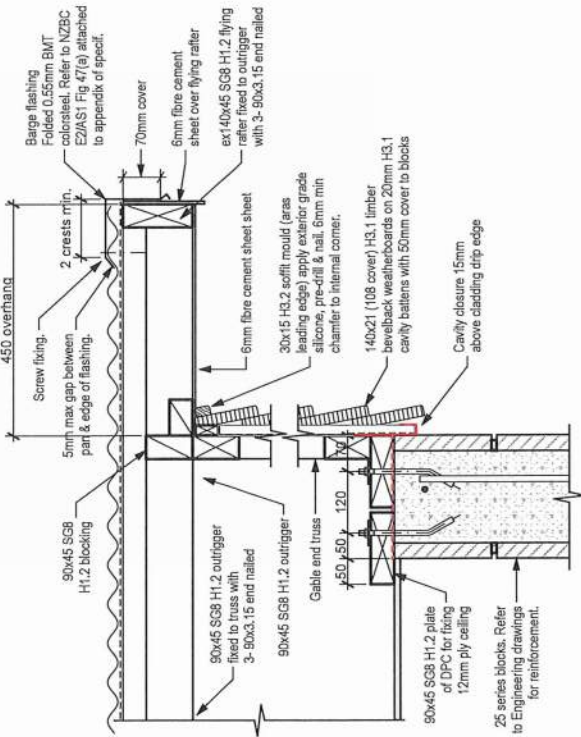
100mm 40MPa concrete slab reinforced with SE62 (grade 500E) mesh with 30mm top cover on 0.25mm vapour barrier on 150mm min. base course hardfill (25mm min. sand blinding). All top soil to be removed & replaced with compacted hardfill (free from clay), max 100mm in size. Compact at 200mm layers with a 300kg static weight plate compactor.

1:10

Garage Foundation 1:50



Check all dimensions on site. Do not scale from plans. If in doubt consult designer.	Issue No	Issue	Date
	0		23/01/2023
Garage Foundation Plan & Details			
Garage Foundation			
Job Ref		1808016	Sheet No
Original Sheet Size		A3	1002
Bach alteration for Mr & Mrs Lucas 36 Kaiteriti - Sandy Bay Road, Kaiteriti			
Job Ref		1808016	Issue
Original Sheet Size		A3	0



1 Raking Barge 9° 1:10

Fixing Requirements

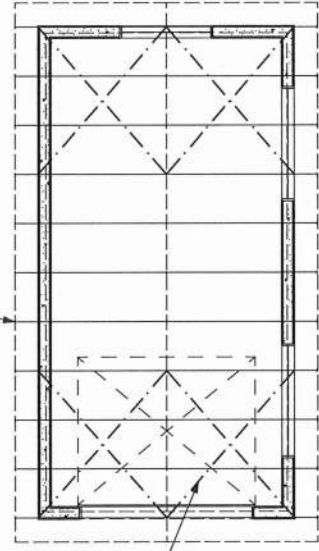
- Top Plate Fixing**
M12 cast in bolts at 900 crs & 150 max. from ends of plates.
- Rafter Fixing** - 8.0kN/Pair
Pair of M16x Lumberlok CPFC40 cleats.
- Purlin Fixing** - 2.4kN
1 / 100x14g sar drilling Type 17 screw.
Refer to D & W Plan.
- Lintel Fixing**
Refer to D & W Plan.

Crossed centrelines denotes single 27.0x0.55mm strap roof plane bracing. Refer to roof plane bracing note in this drawing for fixing.

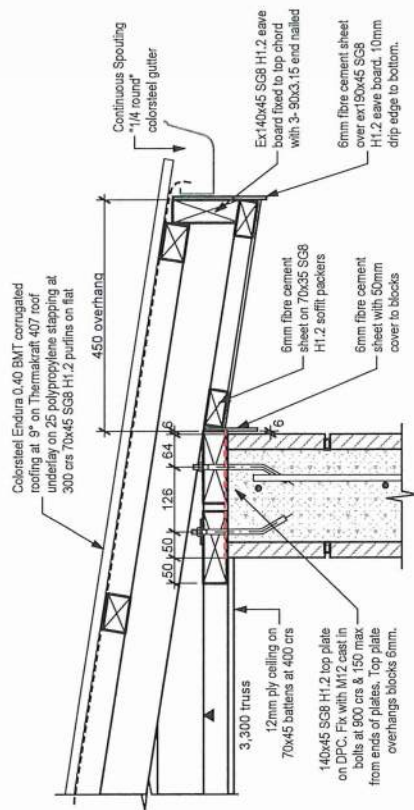
Roof Plane Bracing Notes

- Milek Lumberlok strip brace (27x0.55mm G650 Z275 galv steel).
- Fix over each end of strap & fix with 5 / 75x3.15 galv FH nails with 2 nails in top face & 3 nails in vertical face (not in same plane).
- After tensioning strap fix to each rafter with 2 / 75x3.15mm galv FH nails.

Refer trusses at 900 crs. Gable end truss each end. For truss fixing refer to ITM/ bulidable layout in appendix of specifi.

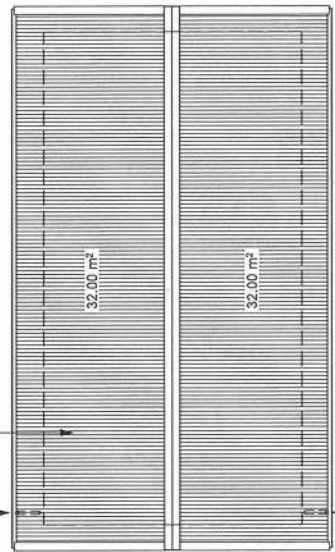


Roof Framing - Garage 1:100



2 Eave 9° 1:10

Colosteel Endura 0.40 BMT corrugated roofing at 9° on Thermakraft 407 roof underlay on 25 polypropylene strapping at 300 crs over 70x45 H1.2 SG8 purlins on fil at 900 crs intermediate and 600 crs end span on trusses at 900 crs. For flashing details refer to NZBC E2/AS1 Figs 39, 41, 44(b), 45(a)(d), 47(a), 49(a), 50, 54 & 71. Copies attached to appendix of specification.

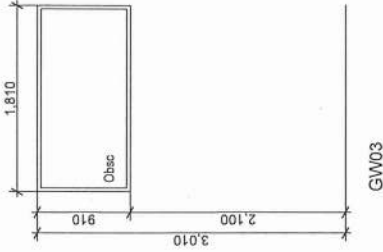
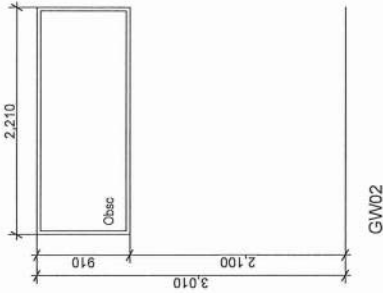
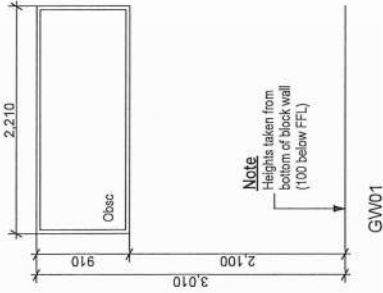
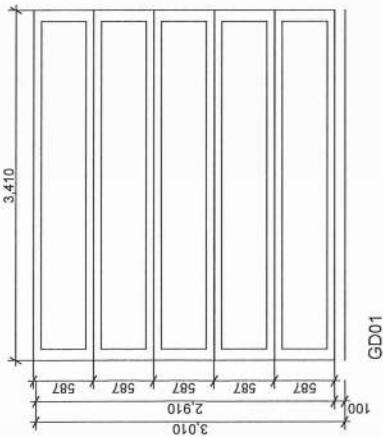


House Downpipe Calculation

Roof plan areas to comply with NZBC E1/AS1 Table 5
For min. DP size 74e = 86m²
Roof plan area = 32m²
1 - 74e DP's each side of ride

Gutter Calculation

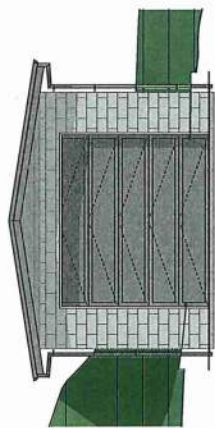
Max roof area to section of gutter = 32m²
From NZBC E1/AS1 Fig 15
Min. x-section area 4,600 x (77/100) = 3,540mm²
Use Continuous Spouting "1/4 Round" spouting (6,300mm²)



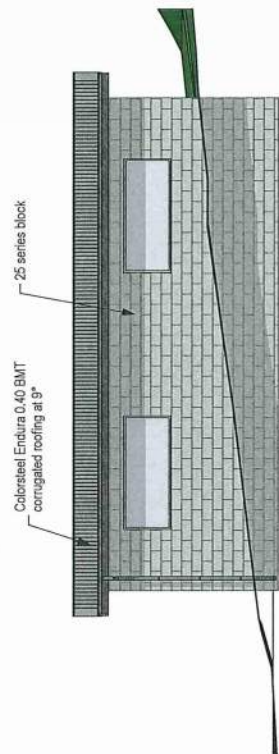
- D & W NOTES**
1. Windows shall be single glazed in aluminium joinery.
 2. Opening sizes given are trim opening / rough opening (RO) sizes.
 3. Allow 10mm space all around between window and door joinery and framing rough opening (allowing for flashing tapes etc).
 4. Colour - Refer to Builder.
 5. Sill heights are measured to bottom of blocks (-100 from FFL).
 6. Doors & windows shown as viewed from outside.
 7. Apex of arrow notation points to hinged side of window / door.
 8. Top hung sashes shall be hung on awning type friction stays.
 9. Glazing as per specification to conform to NZS 4223.
 10. Rebate all exterior doors, contractor to confirm rebate size with door manufacturer.
 11. Exterior windows and doors to perform to requirements of NZS 4211- VERY HIGH Wind Zone.
- SG = Doublets grade A safety glass.
Obsc = Obscure grade A safety glass.

D & W Schedule- Garage
1:50

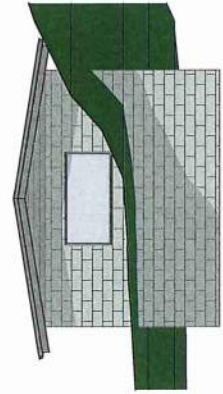
BUILDING ENVELOPE RISK MATRIX		
All Elevations		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		4



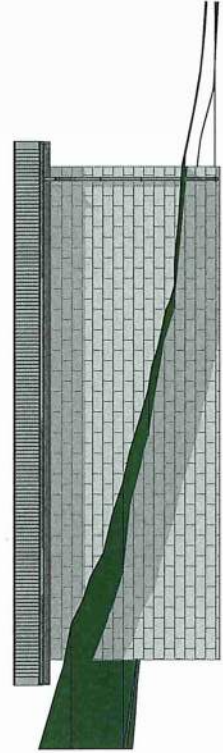
South Elevation
1:100



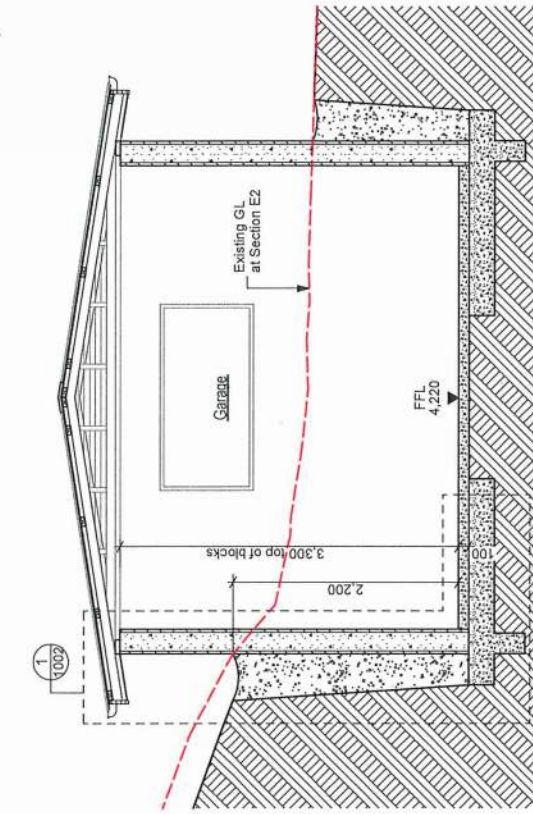
East Elevation
1:100



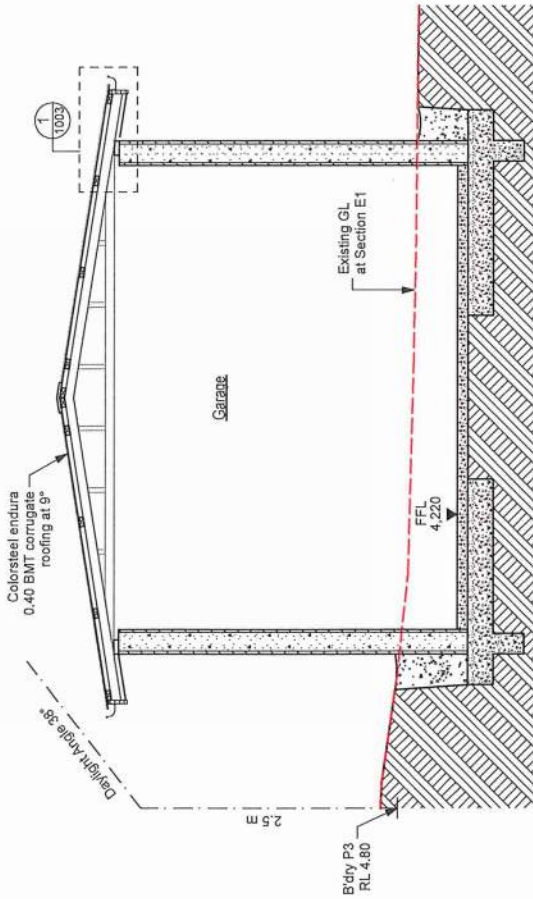
North Elevation
1:100



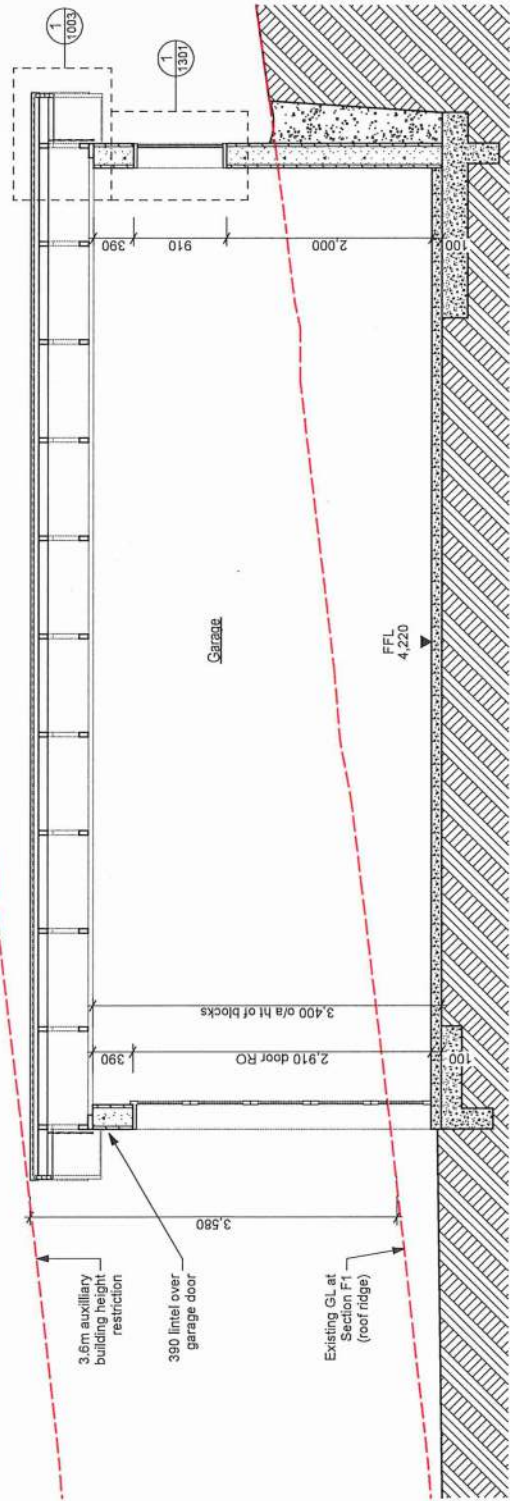
West Elevation
1:100



Section E1
1:50

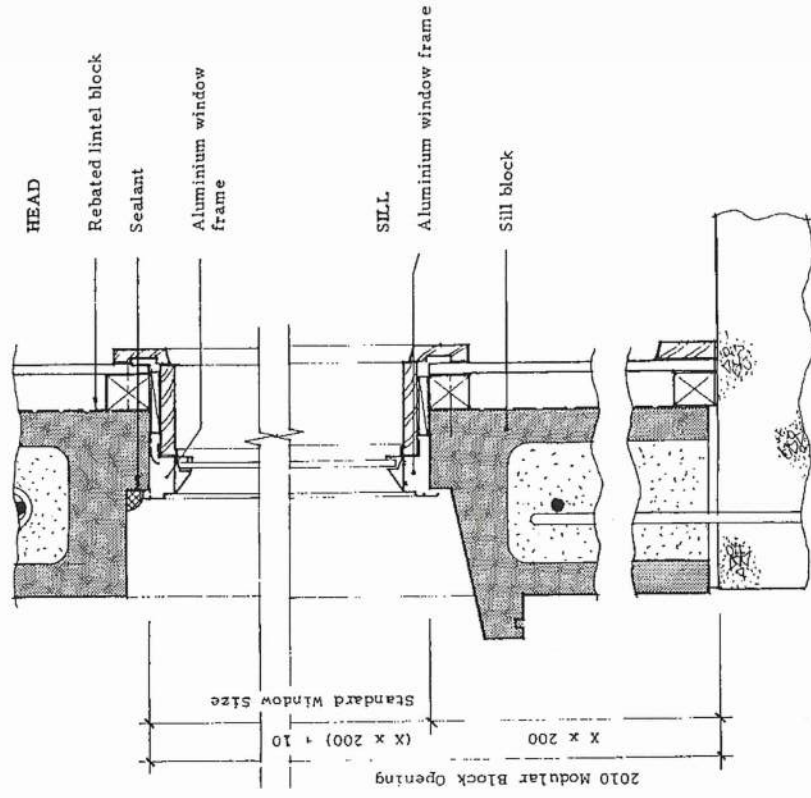
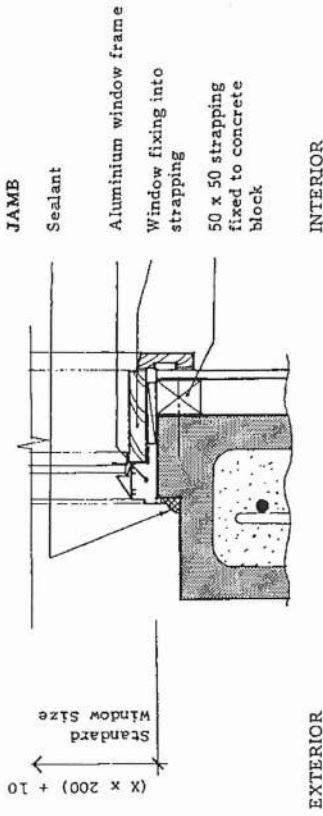


Section E2
1:50



Section F1
1:50

Check all dimensions on site. If in doubt consult designer.	Issue	Issue No	Issue
	0	Building Consent Issue	0
Baker Drafting Ltd Mechanical & Architectural Drafting Ph/Fax (03) 544 4872 Mob 027 544 4872	Date	Job Ref	Sheet No
23/01/2023	1808016	1201	0
Garage Sections	Bach alteration for Mr & Mrs Lucas 36 Kaiteriti - Sandy Bay Road, Kaiteriti		Original Sheet Size A3

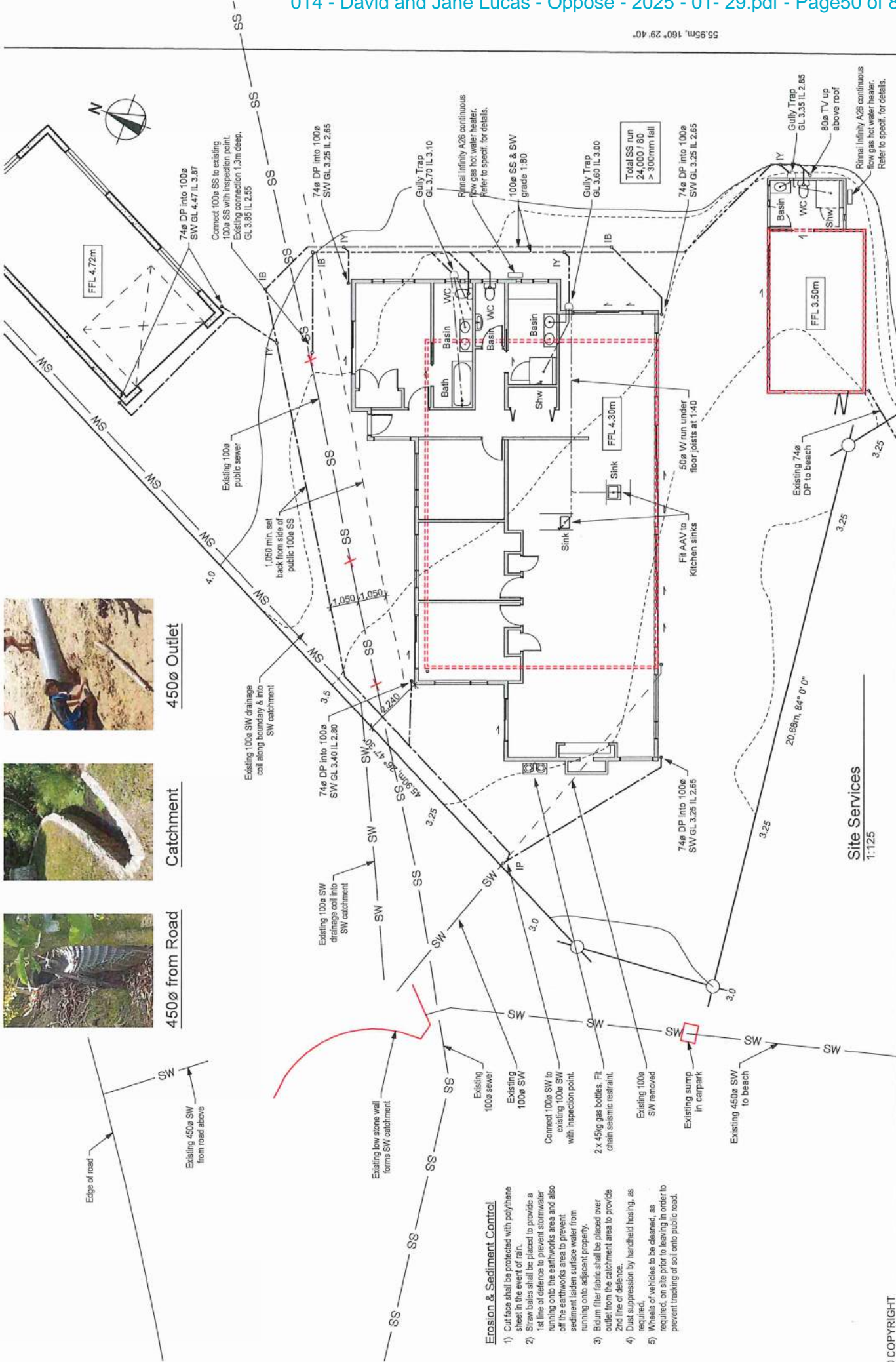


Aluminium Window with Rebated Concrete Block, Head, Jamb and Sill

1 NZCMA Window for Concrete Block 1:1

Check all dimensions on site. Check for seal from piping. If in doubt consult Engineer.		Issue 0	Issue Note Building Consent Issue	Date 23/07/2023
Baker Drafting Ltd Mechanical & Architectural Drafting Ph/Fax (03) 544 4972 Mob 027 544 4972		Door and Window Details		Bach alteration for Mr & Mrs Lucas 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri
© COPYRIGHT		Job Ref 1808016	Original Sheet Size A3	Sheet No 1301
				Issue No 0

55.95m, 160° 29' 40"



450ø Outlet



Catchment



450ø from Road

Erosion & Sediment Control

- 1) Cut face shall be protected with polythene sheet in the event of rain.
- 2) Straw bales shall be placed to provide a 1st line of defence to prevent stormwater running onto the earthworks area and also off the earthworks area to prevent sediment laden surface water from running onto adjacent property.
- 3) Bidum filter fabric shall be placed over outlet from the catchment area to provide 2nd line of defence.
- 4) Dust suppression by handheld hosing, as required.
- 5) Wheels of vehicles to be cleaned, as required, on site prior to leaving in order to prevent tracking of soil onto public road.

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 Mechanical & Architectural Drafting
 Ph/Fax: (03) 544-4972. Mob: 027 544-4972

Issue	Issue Note	Date
0	Building Consent Issue	23/01/2023

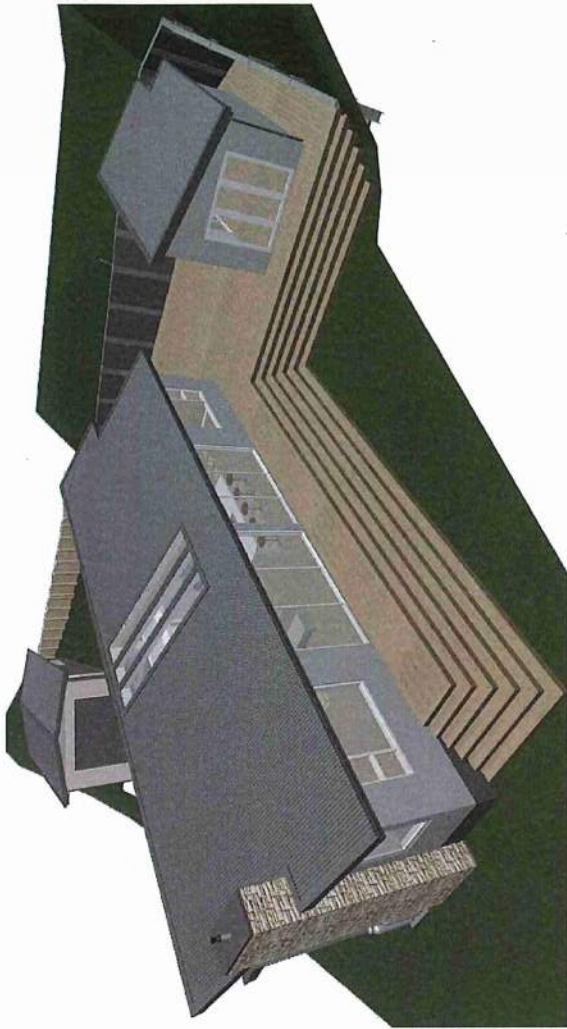
Site Services

Bach alteration for Mr & Mrs Lucas
 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri

Job Ref 1806016
 Original Sheet Size A3
 Sheet No 1401
 Issue No 0

Sheet Index	Sheet Name	Issue	Issue Date	Issue Comment
101	Sheet Index & 3D Views	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
102	Exterior Views - Bach	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
103	Interior Views - Bach	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
104	Site Plan	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
105	Swim Spa 3D Views	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
106	Part Site - Retaining Wall + Swim Spa Setout	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
107	Precast Panels	3	4/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
201	Bach Plan - Existing	0	23/01/2023	Building Consent Issue
202	Bach Plan - Proposed	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
203	Bach Foundation Plan	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
204	Bach D & W Plan	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
205	Bach D & W Schedule	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
206	Bach Kitchen Plan & Elevations	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
207	Bach Bracing Plan	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
208	Bach Roof Framing Plan	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
209	Bach Ceiling Framing & Roof Framing 3D	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
210	Bach Roof Plan	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
301	Bach Elevations - Existing	1	14/04/2023	Revision to Bldg RFI #1
302	Bach Elevations - Proposed	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
401	Bach Sections A1 & A2	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
402	Bach Sections A3 & A4	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
403	Bach Section B1 & B2	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
404	Bach Section B3	0	23/01/2023	Building Consent Issue
501	Bach + Boat Shed Cladding Details (1)	0	23/01/2023	Building Consent Issue
502	Bach + Boat Shed Cladding Details (2)	0	23/01/2023	Building Consent Issue
503	Bach + Boat Shed D & W Details	0	23/01/2023	Building Consent Issue
504	Bach Roof Details (1)	2	2/05/2023	Revision to Bldg RFI #3
505	Bach Roof Details (2)	2	2/05/2023	Revision to Bldg RFI #3
506	Bach Roof Glazing Details (1)	2	2/05/2023	Revision to Bldg RFI #3
507	Bach Roof Glazing Details (2)	2	2/05/2023	Revision to Bldg RFI #3
508	Bach Chimney Details	1	14/04/2023	Revision to Bldg RFI #1
509	Bach Chimney Cransions Details	0	23/01/2023	Building Consent Issue
601	Boat Shed Floor Plan & 3D Views	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
602	Boat Shed - D&W Plan and Joinery Schedule	0	23/01/2023	Building Consent Issue
603	Boat Shed Bracing Plan & Calculation	0	23/01/2023	Building Consent Issue
604	Boat Shed Existing & Foundation Plans	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
605	Boat Shed Roof + Roof Framing Plan	2	2/05/2023	Revision to Bldg RFI #3
701	Boat Shed Elevations	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
801	Boat Shed Sections	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
901	Boat Shed Foundation Details	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
902	Boat Shed Roof Details	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
1001	Garage Floor Plan & 3D Views	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
1002	Garage Foundation Plan & Details	1	14/04/2023	Revision to Bldg RFI #1
1003	Garage Roof + Framing Plan & Details	2	2/05/2023	Revision to Bldg RFI #3
1101	Garage Elevations & Joinery Schedule	2	2/05/2023	Revision to Bldg RFI #3
1201	Garage Sections	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck
1301	Door and Window Details	0	23/01/2023	Building Consent Issue
1401	Site Services	3	30/10/2024	Amendment: Bach/Boat Shed/Garage/Deck

3



Aerial view from South



Aerial view from North



View from Southwest



View from Southeast



View from Northeast



View from Northwest

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Check all dimensions on site.
Do not scale from plans.
If in doubt consult draughtsm.

Issue	Issue Note	Date
3	Amendment: Bach/Bach, Shed/Garage/Deck	30/12/2024

Exterior Views - Bach

Bach alteration for Mr & Mrs Lucas
36 Kaiteriteri - Sandy Bay Road, Kaiteriteri

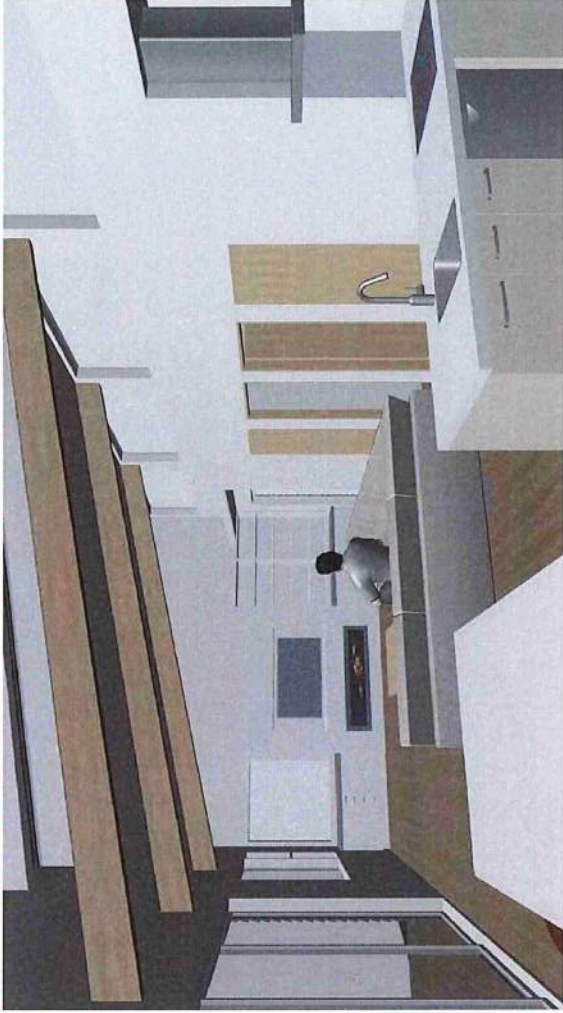
Job Ref 1808016
Original Sheet Size A3

Sheet No 102

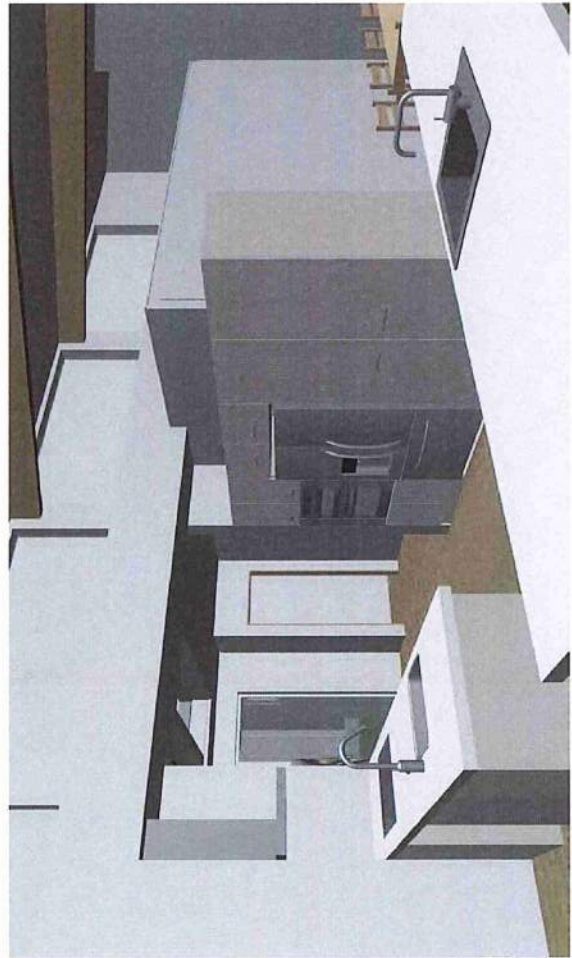
Issue 3



View from Living to Kitchen



View from Dining to Kitchen



Kitchen



Interior aerial view from South

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Check all dimensions on site.
Do not scale from plans.
If in doubt consult Designer.

Issue	Issue Note	Date
3	Amendment: Bach/Boat Shed/Garage/Deck	30/10/2024

Interior Views - Bach

Bach alteration for Mr & Mrs Lucas
36 Kaiteriteri - Sandy Bay Road, Kaiteriteri

Job Ref 1808016
Original Sheet Size A3

Sheet No 103

Issue 3

Legal Description

LOT 1
 DP 4631
 AREA 943m²
 Planning Zone Residential

Site Information

Wind Zone VERY HIGH
 Earthquake Zone 2
 Exposure Zone D (Sea spray)
 Snow Zone N3 < 400m

Wind Zone Calculation

Wind Region A
 Ground Roughness Open
 Site Exposure Exposed
 Gradient Sleep
 Topography Not crest
 Topographic Class T3
 WIND ZONE VERY HIGH

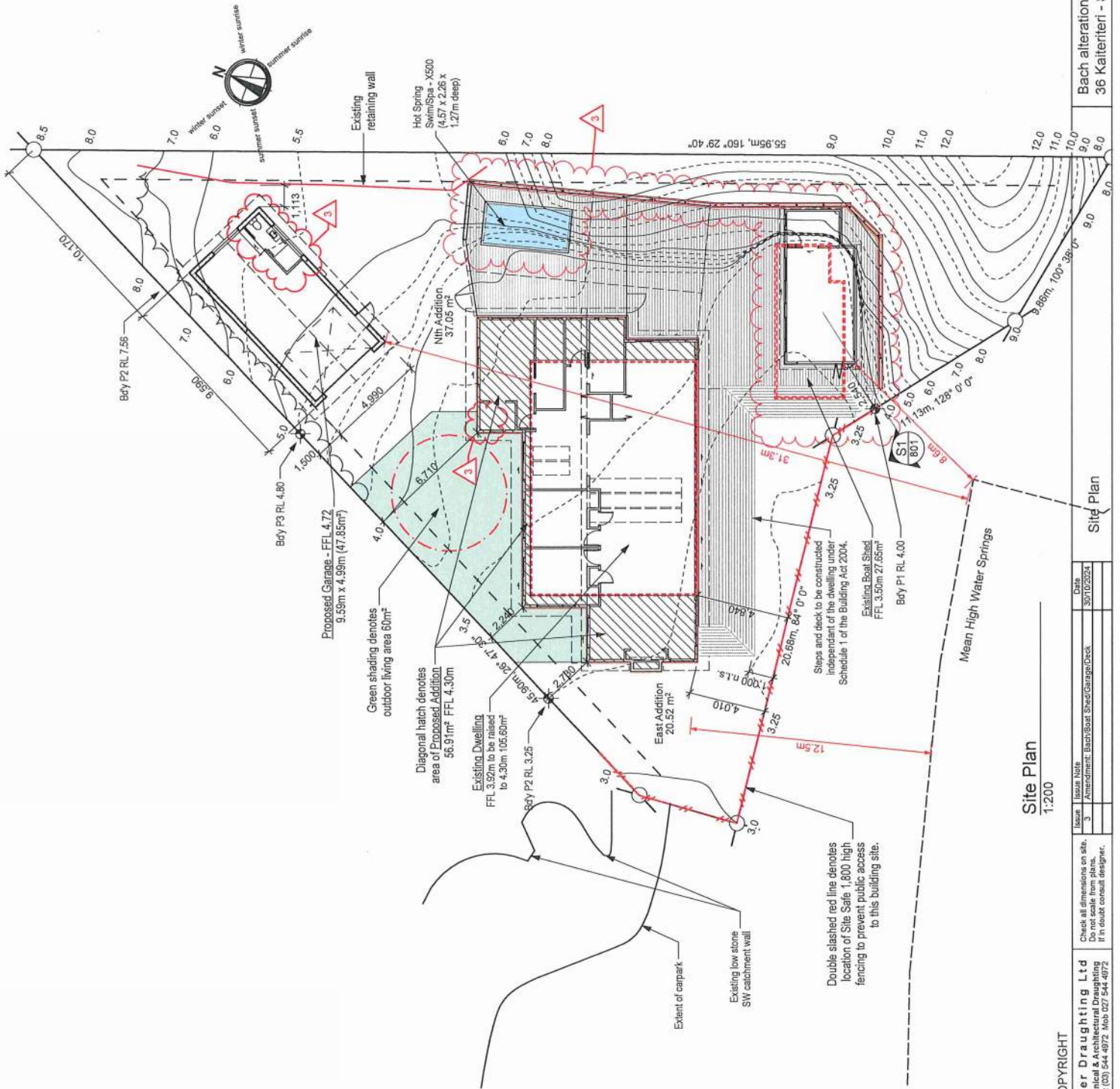
Building Cover

Existing Boat Shed 27.65m²
 Proposed Garage 47.85m²
 Existing Dwelling 105.60m²
 (plan over framing)
 Proposed Addition 56.91m²
 Total Site Cover 238.01m² (25.2%)

Dwelling Area Increase

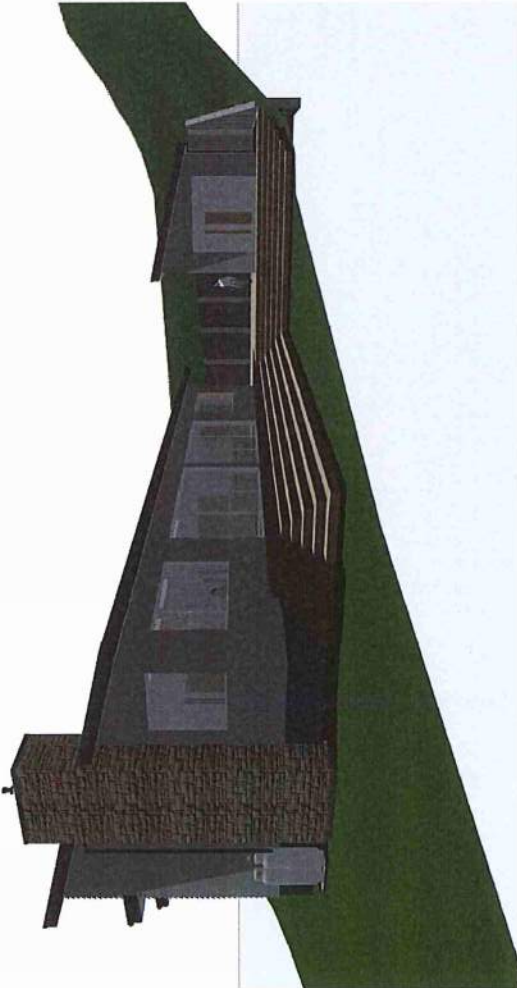
Existing Dwelling 105.60m²
 (plan over framing)
 Proposed Addition 56.91m²
 Increase in floor area 53.9%

Overlapping text removed

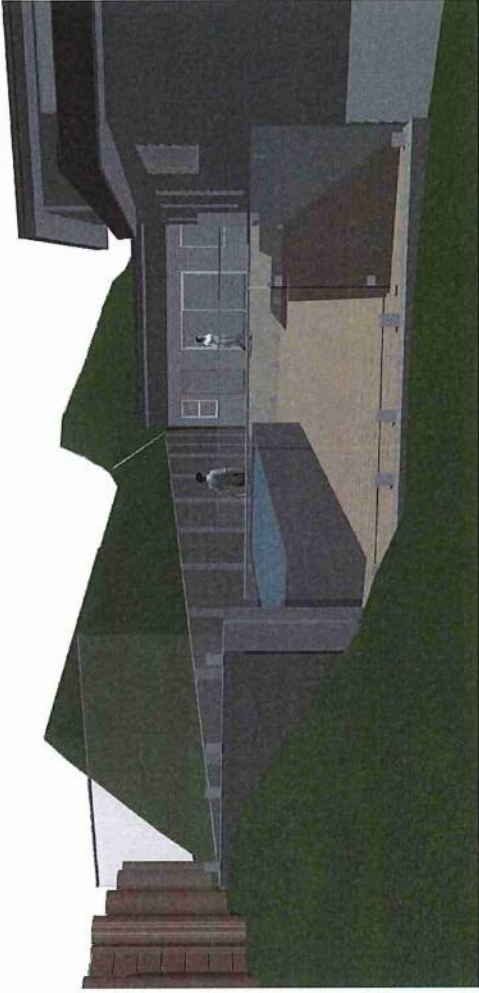


Site Plan
 1:200

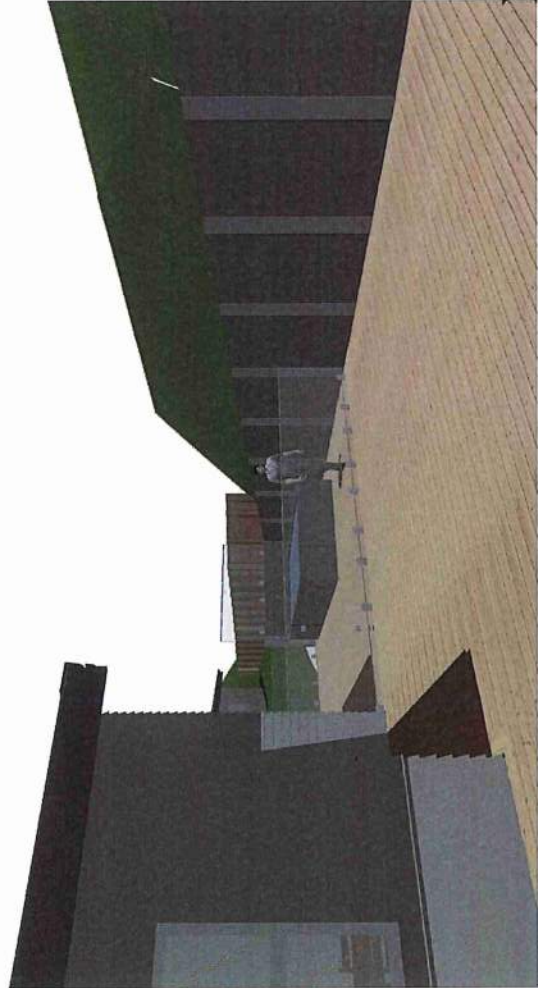
Check all dimensions on site. Do not scale from plans. If in doubt consult designer.	Issue No	Issue Date	Amendment	Issue No	Issue Date
	3	30/10/2024	Batch/Boat Shed/Garage/Duck	104	3
© COPYRIGHT	Baker Drafting Ltd Mechanical & Architectural Drafting Ph: Fax (03) 544 4972 Mob: 027 544 4972	Bach alteration for Mr & Mrs Lucas 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri		Job Ref	1808016
				Original Sheet Size	A3



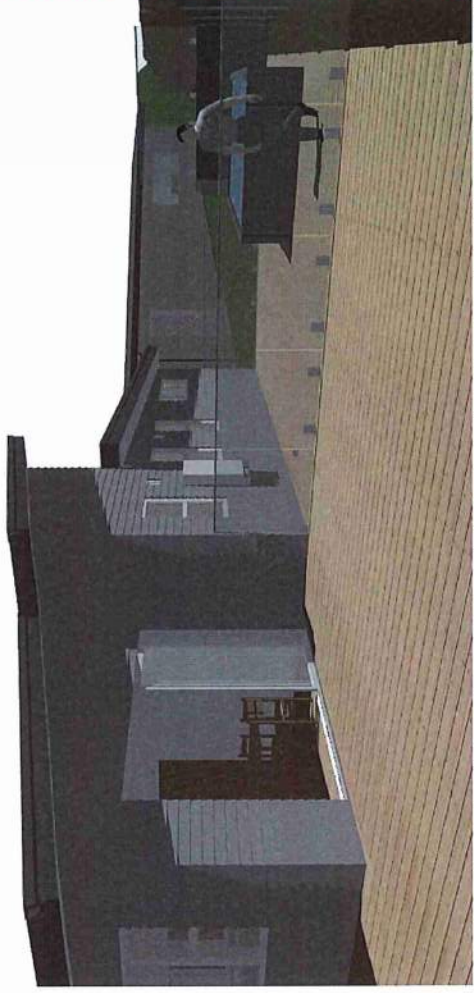
Swim Spa from front deck



Swim Spa from Garage



Swim Spa from Dining



Swim Spa from Boat Shed

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Check all dimensions on site.
Do not scale from plans.
If in doubt consult designer.

Issue	Issue Note	Date
3	Amendment: Back/Boat Shed/Garage/Deck	30/10/2024

Swim Spa 3D Views

Bach alteration for Mr & Mrs Lucas
36 Kaiteriteri - Sandy Bay Road, Kaiteriteri

Job Ref 1808016
Original Sheet Size A3

Sheet No 105

Issue 3



3.0 Gates in pool barriers

3.1 Gate construction

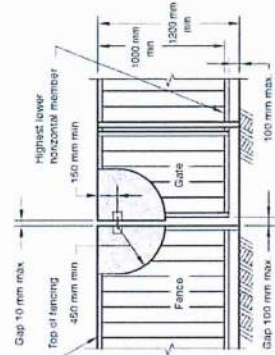
3.1.1 A gate in a pool barrier shall:

- a) Be hinged, and
- b) Be at least 1200 mm high, and
- c) Comply with Paragraphs 2.1.2 to 2.1.7 above, and
- d) Open away from the pool, and
- e) Swing clear of any obstruction that might hold it open, and
- f) Have a self-closing device that will return the gate to the closed and latched position from any position with a stationary start, and
- g) Have hinges arranged such that when the gate is lifted up or pulled down:

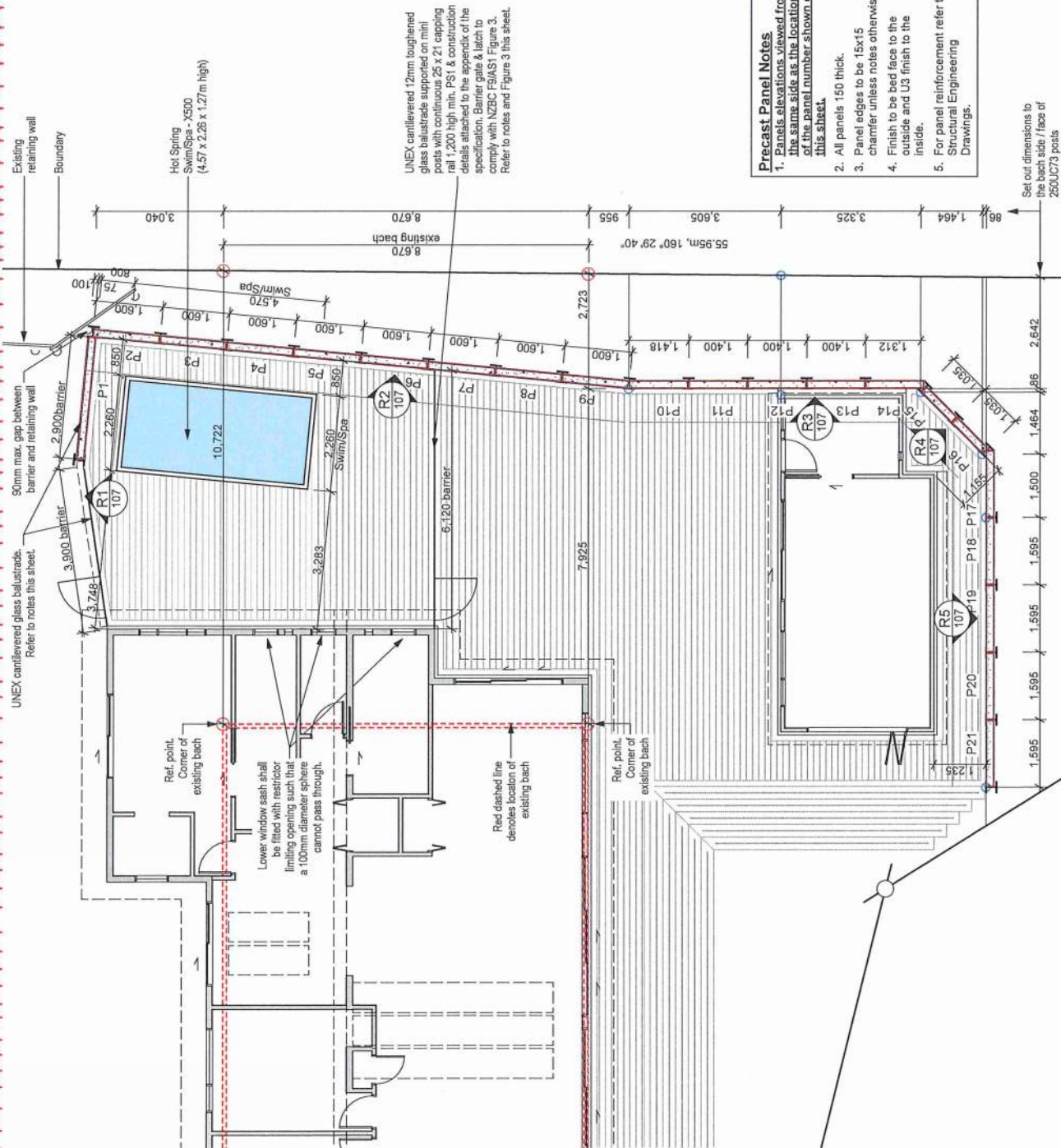
 - i) the latching device will not release, and
 - ii) the gate will not come off its hinges, and
 - iii) the ground clearance under the gate will not allow the passage of a 100 mm diameter sphere.

3.1.2 A latch on a gate in pool barrier shall:

- a) Automatically operate on the closing of the gate such that a manual operation is required to release it, and
- b) Be positioned so that it cannot be reached by a child from outside the pool area. Figure 3 gives acceptable means of preventing a child reaching the latch, and
- c) Not be capable of being released from outside the pool area by the insertion of a thin implement through any gaps.



(a) Basic requirements



Precast Panel Notes

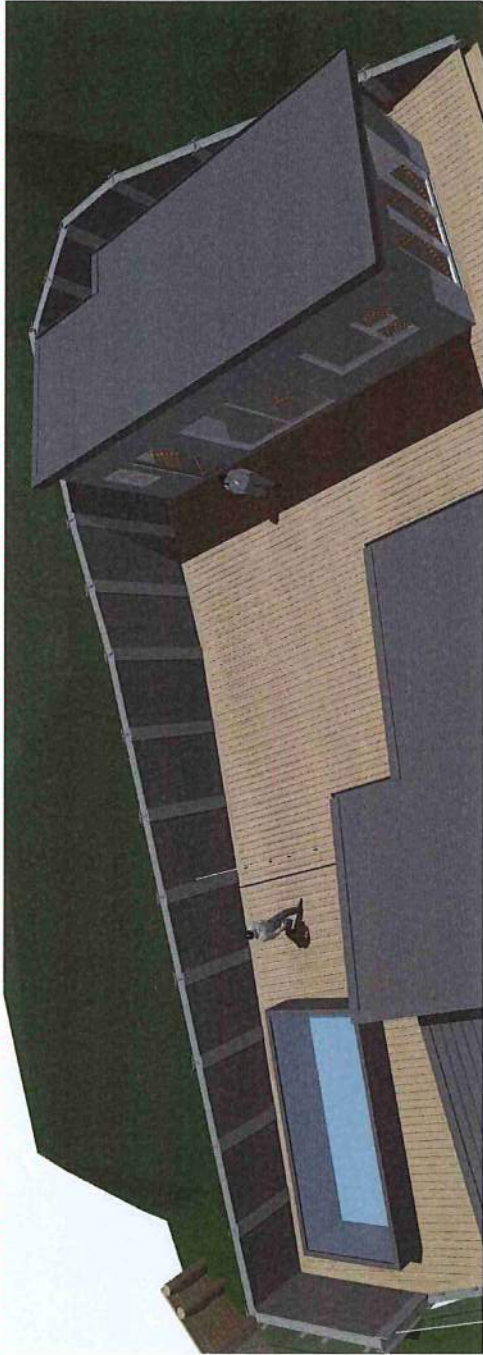
1. Panels elevations viewed from the same side as the location of the panel number shown on this sheet.
2. All panels 150 thick.
3. Panel edges to be 15x15 chamfer unless notes otherwise.
4. Finish to be bed face to the outside and U3 finish to the inside.
5. For panel reinforcement refer to Structural Engineering Drawings.

Part Site - Retaining Wall + Swim Spa Setout
1:100

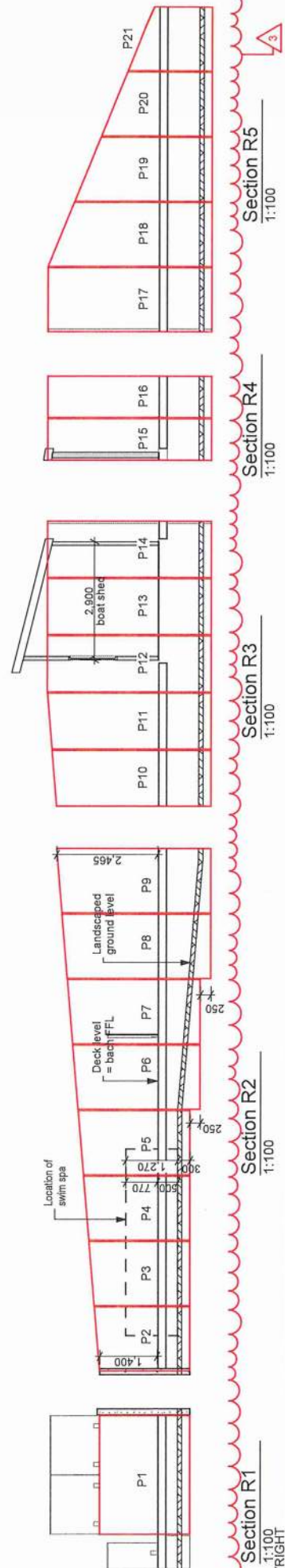
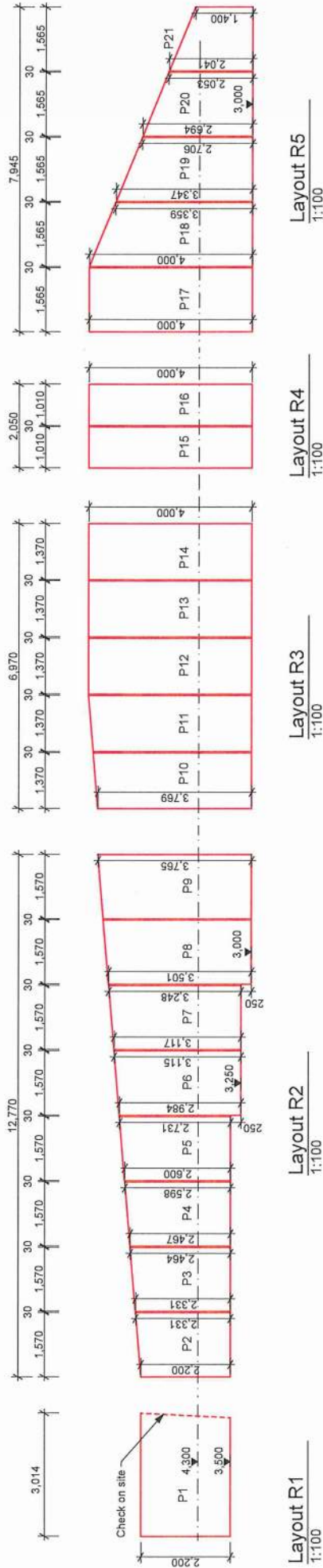


1 NZBC F9/AS1 Fig 3 Pool Gate Latch

Check all dimensions on site. Do not scale from plans. If in doubt consult designer.	Issue No. 3	Issue Date 30/10/2024	Amendment: Bach/Bath Shed/Garage/Deck
© COPYRIGHT	Baker Drafting Ltd Mechanical & Architectural Drafting Ph/Fax: (03) 544-4972 Mob: 027 544-4972	Part Site - Retaining Wall + Swim Spa Setout	Job Ref 1808016 Original Sheet Size: A3
		Bach alteration for Mr & Mrs Lucas 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri	Sheet No 106 Issue 3



Pool Retaining Wall Aerial View



Issue No	3
	107
Sheet No	1808016
Job Ref	Bach alteration for Mr & Mrs Lucas
Original Sheet Size	A3
Precast Panels	
36 Kaiteriteri - Sandy Bay Road, Kaiteriteri	
Baker Drafting Ltd Mechanical & Architectural Drafting Ph/Fax (03) 544 4972 Mob 027 544 4972	
Date	30/10/2024
Issue Note	3 Amendment: Bath/Boat Shed/Garage/Deck

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Down Lights
Down lights to be LED and shall comply with AS/NZS3688.2.2

H1 Compliance
The glazing area for the proposed dwelling does not comply with the Schedule method of NZBC H1/AS1. Calculations showing compliance with the Calculation method are attached to the appendix of the specification.
Total wall area = 179.32m²
E, S & W wall area = 111.61m² (62.1%)
E, S & W glazing = 40.33m² (36.1%)

H1 Construction R-values
R-values calculated using BRANZ House Insulation Guide 6th Edition
Roof - Insulate with 2 x R4.05 (90mm) PIR insulation laid between 150x45 purlins. Total R4.10 (180mm). Construction R-value = 8.27
Floor - Insulate with R2.25 (50mm) PIR insulation. Construction R-value = 2.36
Walls - Insulate with R4.0 (140mm) insulation. Construction R-value = 2.51
Windows/Doors/Skylights - All proposed glazing shall be double pane / low E / clear / argon / and either thermally broken or thermally improved aluminium frame to give the following minimum construction R values.
Vertical glazing (Windows & doors) = 0.46
Skylights = 0.40

Notes General
1) Site measure all windows.
2) For cladding & window flashing details refer to details in the appendix of the specification.
3) For door and window joinery schedule refer to sheet 205.
4) All linels to be SG3 H1.2 treated n.o.n.
5) Refer to the NZ Building Code & NZS3904:2011 for all assembly & construction details not indicated on these drawings.

Framing Notes
External Walls
140x45 SG3 H1.2 studs at 400 crs up to 3.6m
214x45 SG3 H1.2 studs at 400 crs up to 4.2m
Dwings at 800 crs.
Internal Walls
90x45 SG3 H1.2 studs at 400 crs up to 2.7m
Dwings at 800 crs.
Bottom plate = Timber
Bottom plate fixed to floor framing with 360x3.15 nails at 600 crs at external walls & 180x3.15 nails at 600 crs for internal walls.
Note
Additional fixing required at bracing panels. Refer to the Bracing Plan for location.

Wet Area Finishes
Floor
Tiles to be laid on Ardex X18 tile adhesive on Ardex WPM 002 wet area membrane system over Hardies 6mm Slate & Tile underlay over 19mm ply flooring.
Walls within Shower Area
Tiles to be laid on Ardex X18 tile adhesive on Ardex WPM 002 wet area membrane system over 9mm Hardie Villaboard to the shower areas.
Walls outside the Shower Area
Tiles to be laid on Ardex X18 tile adhesive over 9mm Hardies Villaboard.
Ceiling
Paint finish over 13mm Gb Aqualine.

Notes
1. Details of Ardex wet area membrane & Ardex adhesive attached to appendix of specification.
2. For extent of cover of the wet area membrane refer to the Code of Practice of Internal Wet Area Membranes Figure 12. Extract of Code attached to appendix of the specification.
3. Refer also to Paint & Tiling Sections of Specification.

Legend
S/D Smoke Detector / Alarm
Location of Smoke Alarms
All hallway and living areas.
All bedrooms, or within 3m of a sleeping place provided the alarms are audible to the sleeping occupants of the other side of the closed doors.
Ceiling mounted - 300 min. to room wall.
Wall mounted - 300 min. from ceiling.
Smoke Alarm Type
Smoke detectors shall have a readily accessible test facility, and also a hush facility with a minimum duration of 60 seconds.
Shall meet one of the following standards: UL 217, CENULC S531, AS 3786, BS 5446 Pt 1.

H1 Compliance
The glazing area for the proposed dwelling does not comply with the Schedule method of NZBC H1/AS1. Calculations showing compliance with the Calculation method are attached to the appendix of the specification.
Total wall area = 179.32m²
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R-values calculated using BRANZ House Insulation Guide 6th Edition
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Walls - Insulate with R4.0 (140mm) insulation. Construction R-value = 2.51
Windows/Doors/Skylights - All proposed glazing shall be double pane / low E / clear / argon / and either thermally broken or thermally improved aluminium frame to give the following minimum construction R values.
Vertical glazing (Windows & doors) = 0.46
Skylights = 0.40

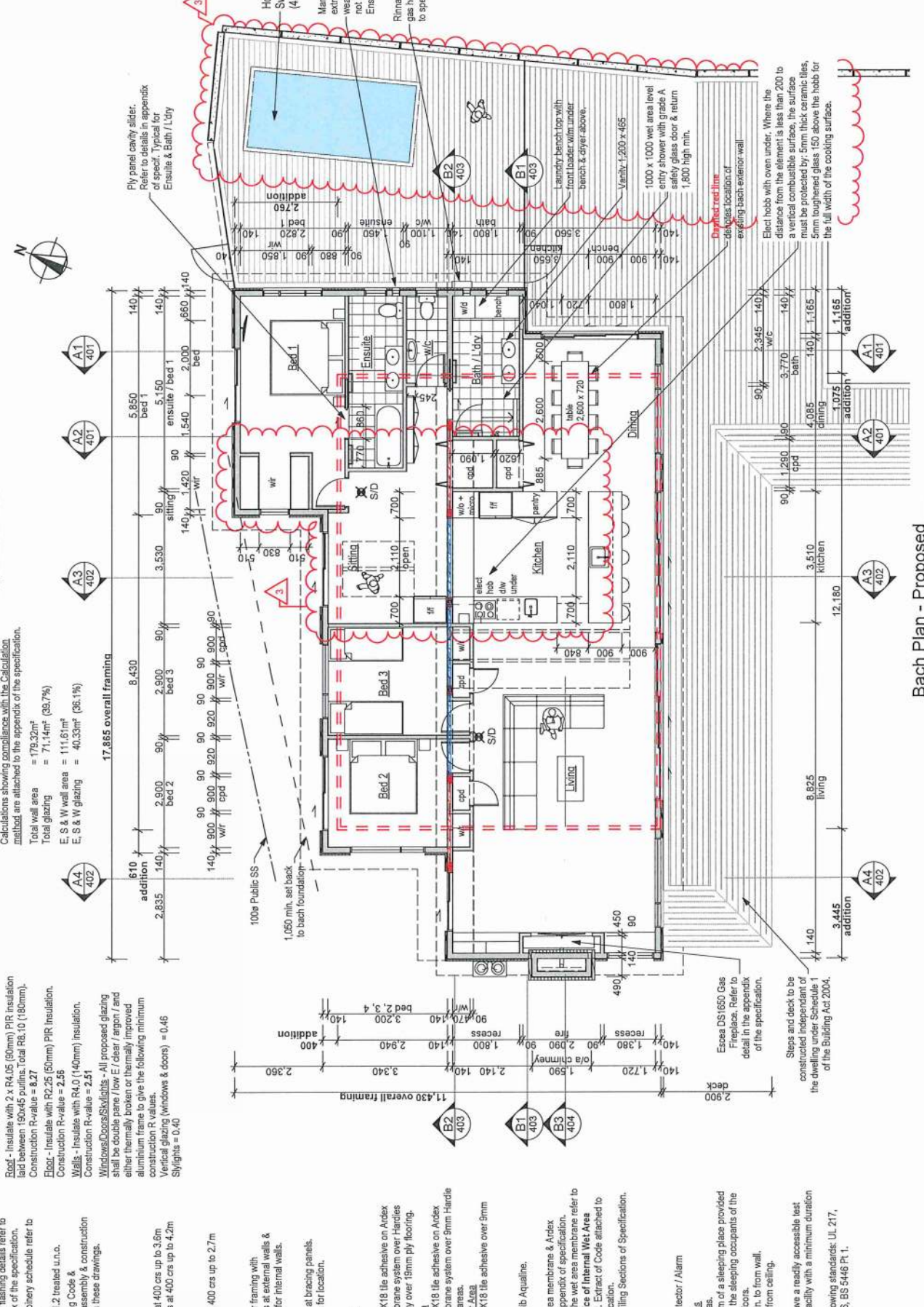
Notes General
1) Site measure all windows.
2) For cladding & window flashing details refer to details in the appendix of the specification.
3) For door and window joinery schedule refer to sheet 205.
4) All linels to be SG3 H1.2 treated n.o.n.
5) Refer to the NZ Building Code & NZS3904:2011 for all assembly & construction details not indicated on these drawings.

Framing Notes
External Walls
140x45 SG3 H1.2 studs at 400 crs up to 3.6m
214x45 SG3 H1.2 studs at 400 crs up to 4.2m
Dwings at 800 crs.
Internal Walls
90x45 SG3 H1.2 studs at 400 crs up to 2.7m
Dwings at 800 crs.
Bottom plate = Timber
Bottom plate fixed to floor framing with 360x3.15 nails at 600 crs at external walls & 180x3.15 nails at 600 crs for internal walls.
Note
Additional fixing required at bracing panels. Refer to the Bracing Plan for location.

Wet Area Finishes
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Tiles to be laid on Ardex X18 tile adhesive on Ardex WPM 002 wet area membrane system over 9mm Hardie Villaboard to the shower areas.
Walls outside the Shower Area
Tiles to be laid on Ardex X18 tile adhesive over 9mm Hardies Villaboard.
Ceiling
Paint finish over 13mm Gb Aqualine.

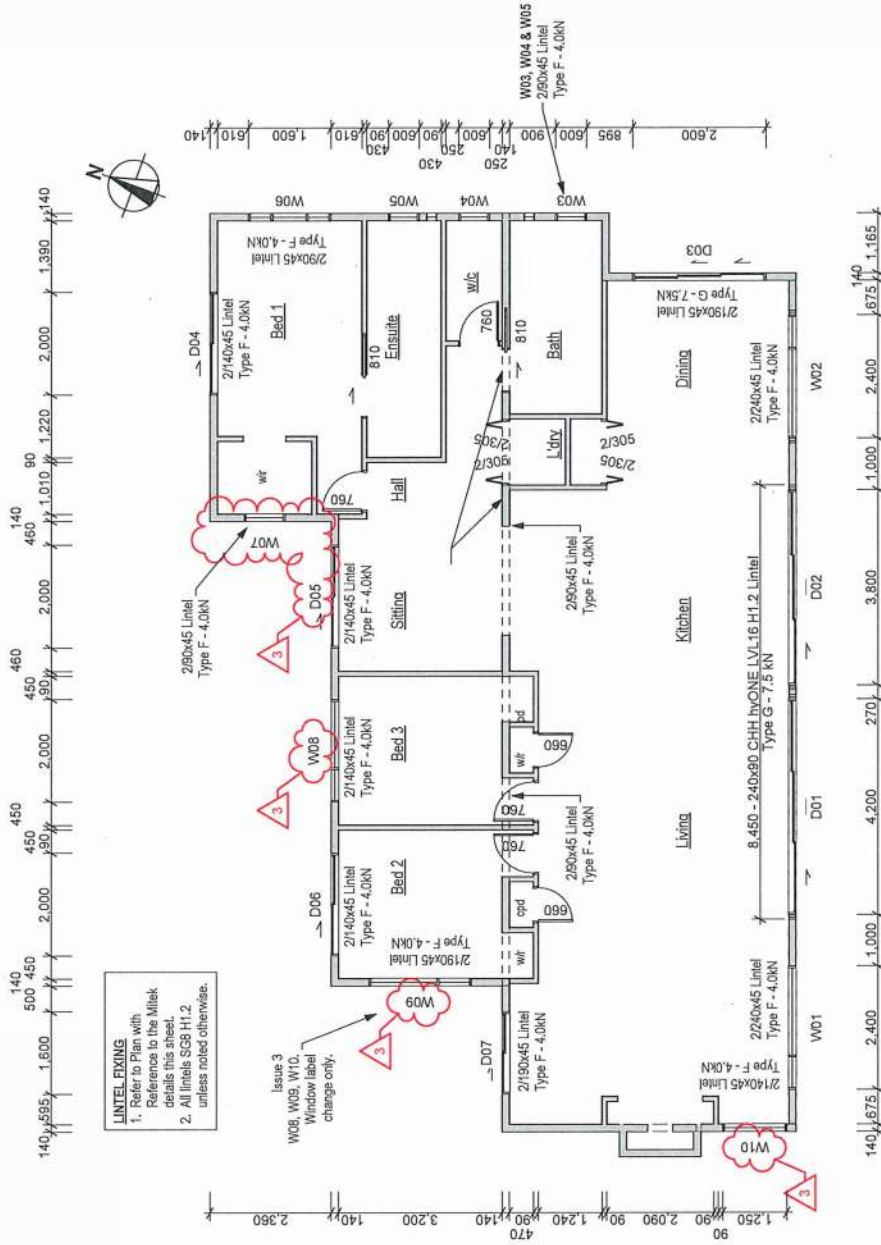
Notes
1. Details of Ardex wet area membrane & Ardex adhesive attached to appendix of specification.
2. For extent of cover of the wet area membrane refer to the Code of Practice of Internal Wet Area Membranes Figure 12. Extract of Code attached to appendix of the specification.
3. Refer also to Paint & Tiling Sections of Specification.

Legend
S/D Smoke Detector / Alarm
Location of Smoke Alarms
All hallway and living areas.
All bedrooms, or within 3m of a sleeping place provided the alarms are audible to the sleeping occupants of the other side of the closed doors.
Ceiling mounted - 300 min. to room wall.
Wall mounted - 300 min. from ceiling.
Smoke Alarm Type
Smoke detectors shall have a readily accessible test facility, and also a hush facility with a minimum duration of 60 seconds.
Shall meet one of the following standards: UL 217, CENULC S531, AS 3786, BS 5446 Pt 1.



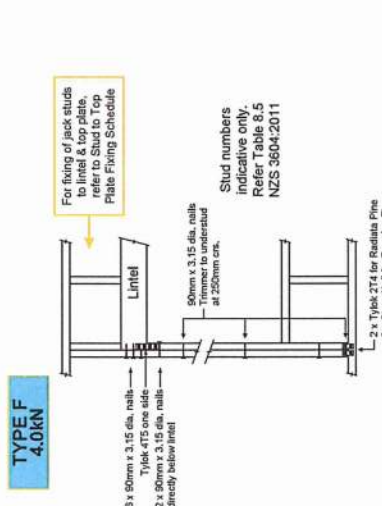
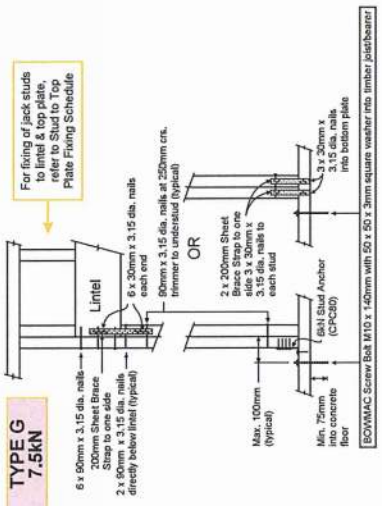
Bach Plan - Proposed
1:100

Issue	Date	Amendment	Bach/Boat Shed/S Garage/Deck
3	30/11/2024		
Sheet No	1808016	Job Ref	Bach alteration for Mr & Mrs Lucas
202			36 Kaiteriti - Sandy Bay Road, Kaiteriti
Original Sheet Size	A3	Issue	3



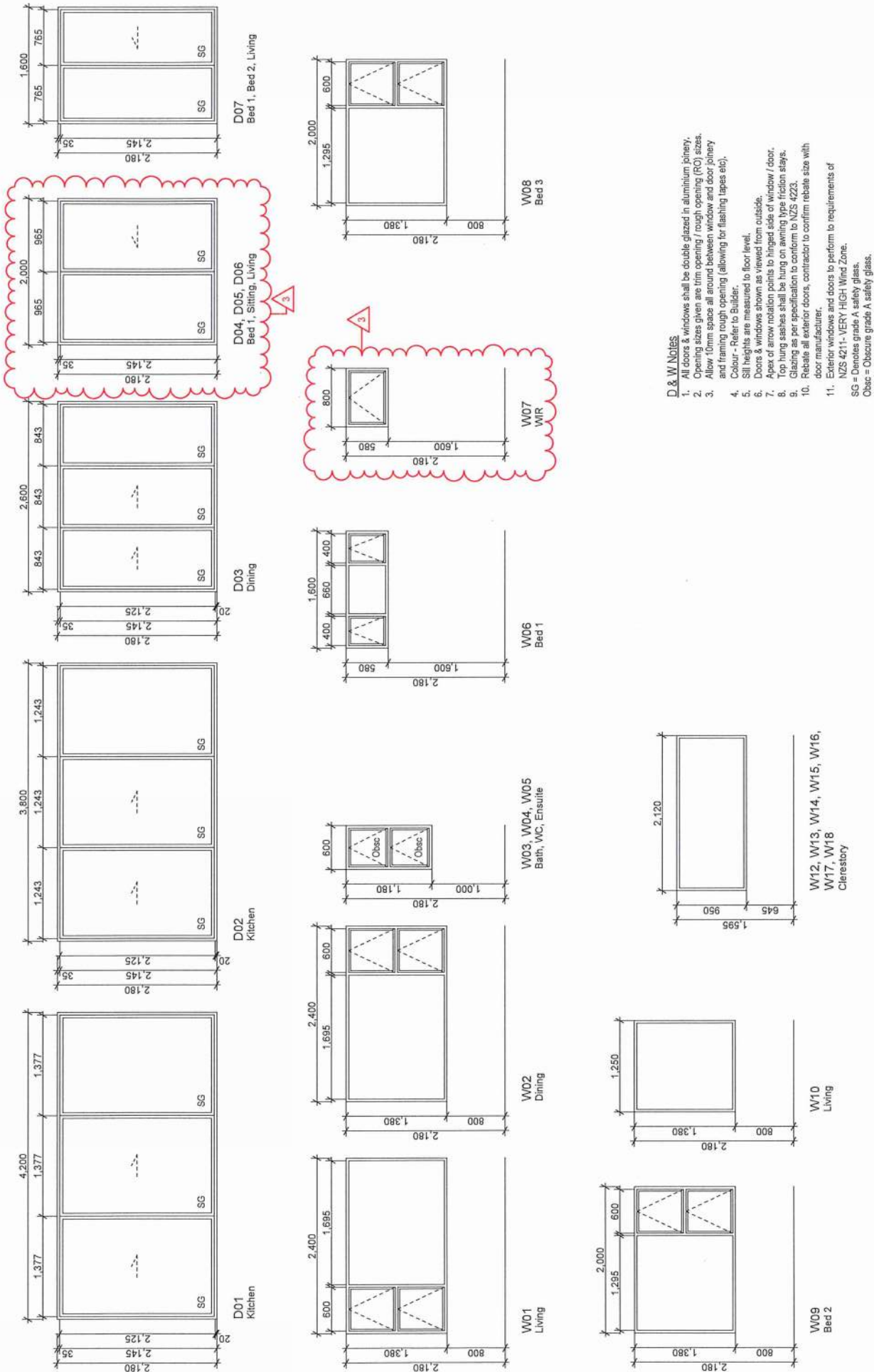
LINTEL FIXING
 1. Refer to Plan with reference to the Miltek details this street.
 2. All lintels SGG H1.2 unless noted otherwise.

leave 3
 W08, W09, W10.
 Window label change only.



D & W Plan
 1:100

Issue	3
Sheet No	204
Job Ref	1808016
Original Sheet Size	A3
Bach alteration for Mr & Mrs Lucas	
36 Kaiteriteri - Sandy Bay Road, Kaiteriteri	
Bach D & W Plan	
Date	30/10/2024
Issue Note	Amendment: Bach/Boat Shed/Garage/Duck
Check all dimensions on site. Do not scale from plans. If in doubt consult engineer.	
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D & W NOTES

- All doors & windows shall be double glazed in aluminium joinery.
 - Opening sizes given are trim opening / rough opening (RO) sizes.
 - Allow 10mm space all around between window and door joinery and framing rough opening (allowing for flashing tapes etc).
 - Colour - Refer to Builder.
 - Sill heights are measured to floor level.
 - Doors & windows shown as viewed from outside.
 - Apex of arrow notation points to hinged side of window / door.
 - Top hung sashes shall be hung on awning type friction stays.
 - Glazing as per specification to conform to NZS 4223.
 - Rebate all exterior doors, contractor to confirm rebate size with door manufacturer.
 - Exterior windows and doors to perform to requirements of NZS 4211 - VERY HIGH Wind Zone.
- SG = Denotes grade A safety glass.
 Obsc = Obscure grade A safety glass.

D & W Schedule - Bach
 1:50

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		3	30/10/2024
Bach D & W Schedule		Job Ref	1808016
Bach alteration for Mr & Mrs Lucas		Original Sheet Size	A3
36 Kaiteriti - Sandy Bay Road, Kaiteriti		Sheet No	205
		Issue	3

BRACING CALCULATIONS

Location of Storey	Single	Wind Zone	TABLE: Default
Room in Roof Space	No	Earthquake Zone	Very High
Building Width (BW)	11.4m	Soil Class	E - Very Soft
Building Length (BL)	17.9m		
Gross Floor Area (GFA)	162.57m ²	W along	71.5BU/m
Floor Height to Apex	5m	W along x BW	817.2BU
Roof Height Above Eaves	2m	W across	71.5BU/m
Roof Pitch	0 - 25°	W across x BL	1,277.3BU
Roof Style	Monopitch		
Double Top Plate	No	EQ	8.6BU/m ²
Floor Load	2kPa	EQ x GFA	1,430.6BU
Cladding Weights:			
- Subfloor	Light		
- Wall	Light		
- Roof	Light		

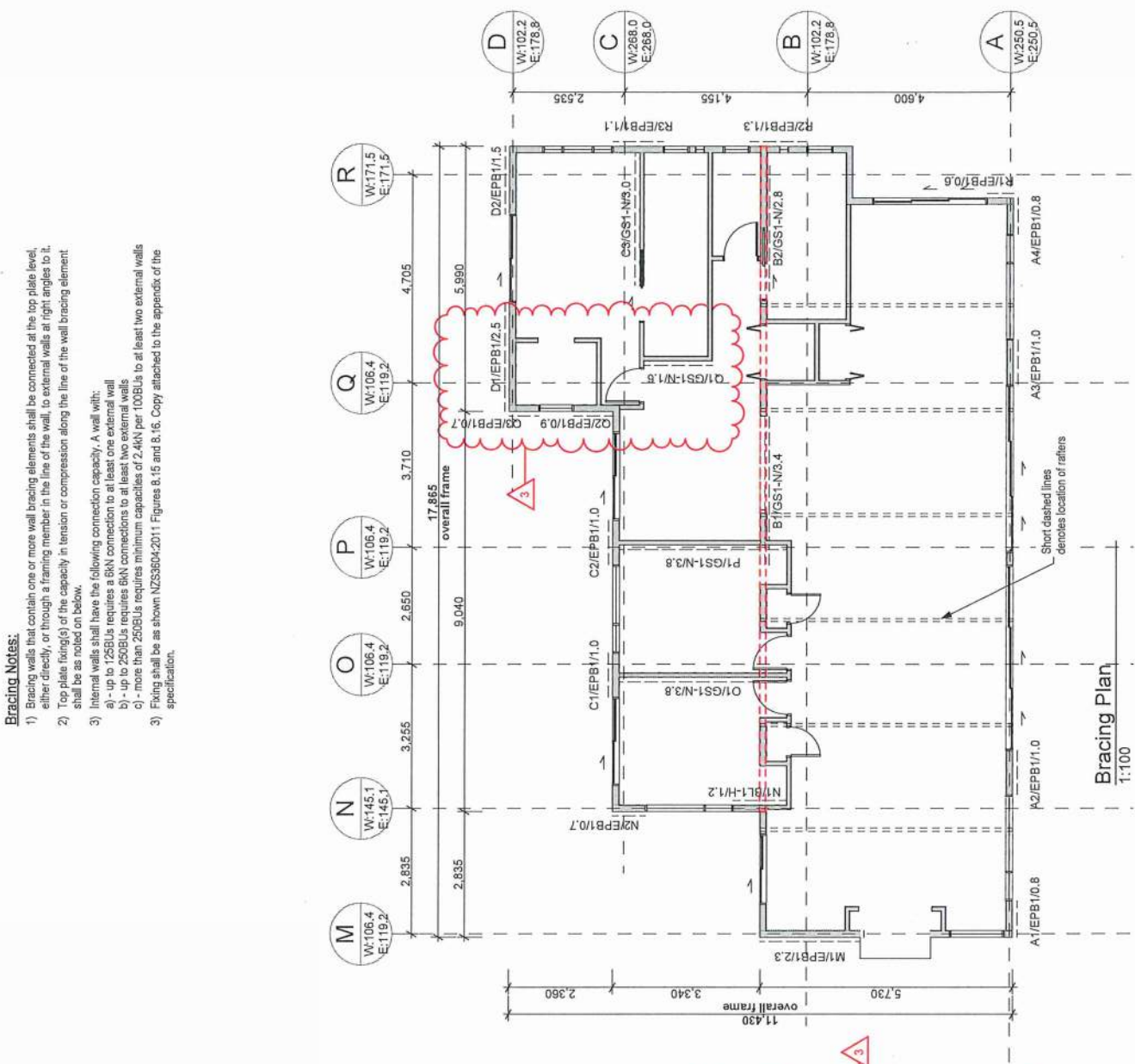
Calculations based on NZS3604:2011

BRACING ALONG

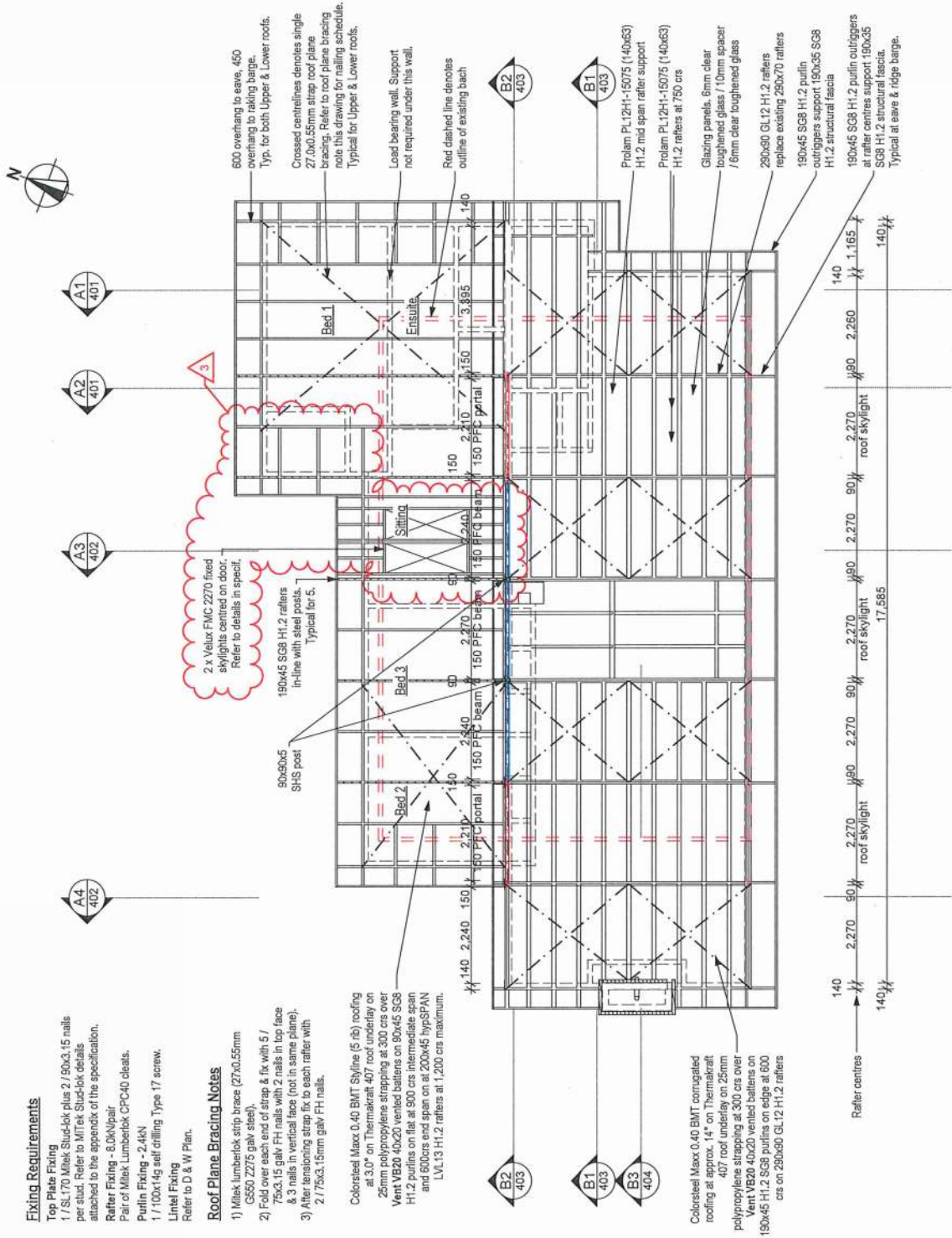
Required Line	W BU	EQ BU	Provided Brace Type	W BU/m	EQ BU/m	Length m	Height m	Angle	Achieved W BU	Achieved EQ BU
A	250.5	250.5	A-1 EPB1	95.0	105.0	0.8	2.4	2.4	77.4	85.6
			A-2 EPB1	95.0	105.0	1.0	2.4	2.4	95.0	105.0
			A-3 EPB1	95.0	105.0	1.0	2.4	2.4	95.0	105.0
			A-4 EPB1	95.0	105.0	0.8	2.4	2.4	77.4	85.6
Total									344.9	381.2
B	102.2	178.8	B-1 GS1-N	70.0	60.0	3.4	2.5	2.5	230.1	197.2
			B-2 GS1-N	70.0	60.0	2.8	2.5	2.5	193.7	166.0
Total									423.8	363.2
C	268.0	268.0	C-1 EPB1	95.0	105.0	1.0	2.4	2.4	94.1	104.0
			C-2 EPB1	95.0	105.0	1.0	2.4	2.4	95.0	105.0
			C-3 GS1-N	70.0	60.0	3.0	2.5	2.5	205.0	175.7
Total									394.1	384.7
D	102.2	178.8	D-1 EPB1	120.0	120.0	2.5	2.3	2.3	295.2	295.2
			D-2 EPB1	120.0	120.0	1.5	2.3	2.3	183.6	183.6
Total									478.8	478.8
Total									1,641.5	1,607.9
									Required	1,430.6

BRACING ACROSS

Required Line	W BU	EQ BU	Provided Brace Type	W BU/m	EQ BU/m	Length m	Height m	Angle	Achieved W BU	Achieved EQ BU
M	106.4	119.2	M-1 EPB1	120.0	120.0	2.3	2.4	2.4	273.6	273.6
N	145.1	145.1	N-1 BL1-H	120.0	105.0	1.2	2.6	2.6	135.5	118.6
			N-2 EPB1	95.0	105.0	0.7	2.6	2.6	66.2	73.1
Total									201.7	191.7
O	106.4	119.2	O-1 GS1-N	70.0	60.0	3.8	2.4	2.4	265.3	227.4
			O-2 GS1-N	70.0	60.0	3.8	2.4	2.4	265.3	227.4
Total									265.3	227.4
P	106.4	119.2	P-1 GS1-N	70.0	60.0	3.8	2.4	2.4	265.3	227.4
			P-2 GS1-N	70.0	60.0	3.8	2.4	2.4	265.3	227.4
Total									265.3	227.4
Q	106.4	119.2	Q-1 GS1-N	70.0	60.0	1.6	2.4	2.4	108.5	93.0
			Q-2 EPB1	95.0	105.0	0.9	2.4	2.4	85.0	94.0
			Q-3 EPB1	95.0	105.0	0.7	2.3	2.3	63.2	69.8
Total									256.7	256.8
R	171.5	171.5	R-1 EPB1	80.0	95.0	0.6	2.4	2.4	47.6	56.5
			R-2 EPB1	120.0	120.0	1.3	2.4	2.4	154.8	154.8
			R-3 EPB1	95.0	105.0	1.1	2.4	2.4	107.4	118.7
Total									309.8	330.0
Total									1,572.3	1,506.9
									Required	1,430.6



- Bracing Notes:**
- 1) Bracing walls that contain one or more wall bracing elements shall be connected at the top plate level, either directly, or through a framing member in the line of the wall, to external walls at right angles to it, shall be as noted on below.
 - 2) Top plate fixing(s) of the capacity in tension or compression along the line of the wall bracing element shall be as noted on below.
 - 3) Internal walls shall have the following connection capacity, A wall with:
 - a) - up to 125BU requires a 8KN connection to at least one external wall
 - b) - up to 250BU requires 8KN connections to at least two external walls
 - c) - more than 250BU requires minimum capacities of 2.4KN per 100BU to at least two external walls
 - 3) Fixing shall be as shown NZS3604:2011 Figures 8.15 and 8.16. Copy attached to the appendix of the specification.



Fixing Requirements

- Top Plate Fixing**
 1/ 5L170 Mitex Stud-loc plus 2 / 90x3.15 nails per stud. Refer to Mitex Stud-loc details attached to the appendix of the specification.
Rafter Fixing -- 8.0kN/pair
 Pair of Mitex Lumberlok CPC40 cleats.
Purlin Fixing -- 2.4kN
 1 / 100x14g self drilling Type 17 screw.
Lintel Fixing
 Refer to D & W Plan.

Roof Plane Bracing Notes

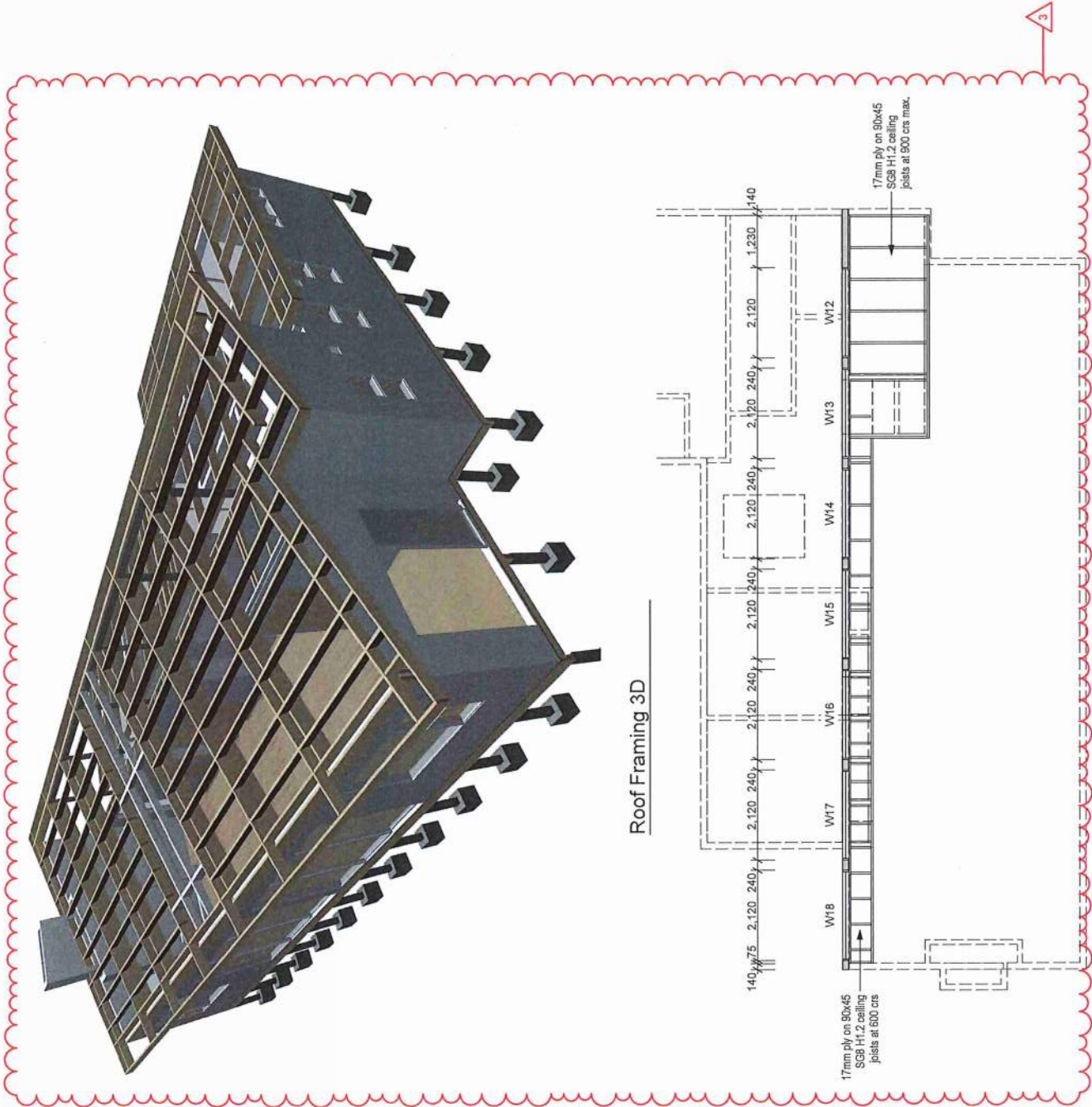
- 1) Mitex lumberlok strip brace (27x0.55mm CS50 Z275 galv steel).
- 2) Fold over each end of strap & fix with 5 / 75x3.15 galv FH nails with 2 nails in top face & 3 nails in vertical face (not in same plane).
- 3) After tensioning strap fix to each rafter with 2 / 75x3.15mm galv FH nails.

Colorsteel Maxx 0.40 BMT Skyline (5 rib) roofing at 3.0° on Thermakraft 407 roof underlay on 25mm polypropylene strapping at 300 c/s over Vent VB20 40x20 vented battens on 90x45 SGB H1.2 purlins on 114 at 900 c/s intermediate span and 600ers end span on at 200x45 HypSPAN LVL13 H1.2 rafters at 1,200 c/s maximum.

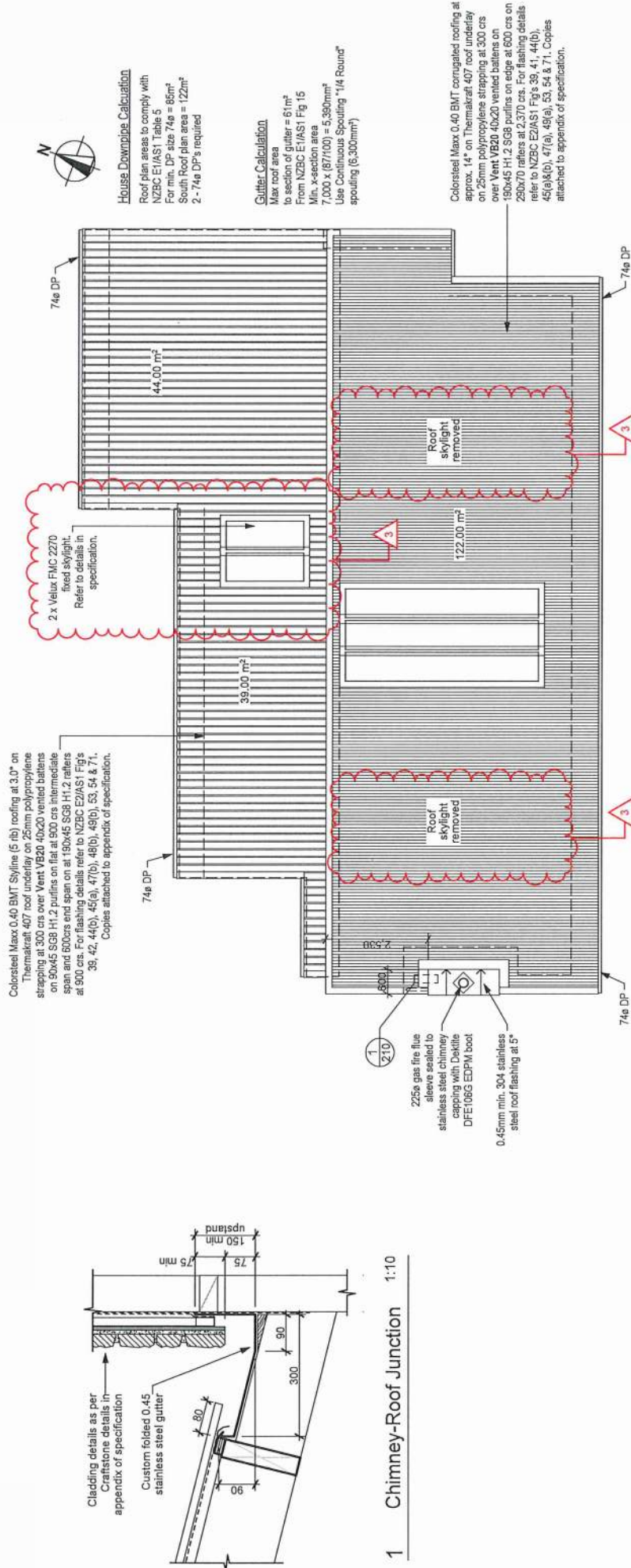
Colorsteel Maxx 0.40 BMT corrugated roofing at approx. 14° on Thermakraft 407 roof underlay on 25mm polypropylene strapping at 300 c/s over Vent VB20 40x20 vented battens on 190x45 H1.2 SGB purlins on edge at 600 c/s on 280x60 GL12 H1.2 rafters

Roof Framing
 1:100

Check all dimensions on site. Do not scale from plans. If in doubt consult designer.	Issue No 3	Issue Date 30/10/2024	Bach alteration for Mr & Mrs Lucas 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri	Job Ref 1808016	Sheet No 208	Issue 3
	Amendment: Bach/Bach Shed/Ganger/Duck	© COPYRIGHT Baker Drafting Ltd Mechanical & Architectural Drafting Ph/Fax (03) 544 4872 Mob 027 544 4872		Bach Roof Framing Plan	Original Sheet Size A3	Issue 3



Check all dimensions on site. Do not scale from plans. If in doubt consult designer.	Issue	Issue Note	Date
	3	Amendment: Bach/Bach/Sheep/Garage/Duck	30/10/2024
© COPYRIGHT	Baker Drafting Ltd Mechanical & Architectural Drafting Ph/Fax (03) 544 4872 Mob 027 544 4872	Bach Ceiling Framing & Roof Framing 3D	
	Bach alteration for Mr & Mrs Lucas 36 Kaiteriti - Sandy Bay Road, Kaiteriti		
	Job Ref 1808016 Original Sheet Size A3	Sheet No 209	Issue 3



House Downpipe Calculation
 Roof plan areas to comply with NZBC E1/AS1 Table 5
 For min. DP size 74ø = 86m²
 South Roof plan area = 122m²
 2 - 74ø DP's required

Gutter Calculation
 Max roof area to section of gutter = 61m²
 From NZBC E1/AS1 Fig 15
 Min. x-section area 7,000 x (87/100) = 5,390mm²
 Use Continuous Spouting "1/4 Round" spouting (6,300mm²)

Colorsteel Maxx 0.40 BMT corrugated roofing at approx. 14" on Thermakraft 407 roof underlay on 25mm polypropylene strapping at 300 crs over Vent VB20 40x20 vented battens on 190x45 H-1.2 SG8 purlins on edge at 600 crs on 290x70 rafters at 2,370 crs. For flashing details refer to NZBC E2/AS1 Figs 39, 41, 44(b), 45(a)&(b), 47(a), 49(a), 53, 54 & 71. Copies attached to appendix of specification.

Colorsteel Maxx 0.40 BMT Skyline (5 rib) roofing at 3.0" on Thermakraft 407 roof underlay on 25mm polypropylene strapping at 300 crs over Vent VB20 40x20 vented battens on 90x45 SG8 H-1.2 purlins on flat at 900 crs intermediate span and 600crs end span on at 190x45 SG8 H-1.2 rafters at 900 crs. For flashing details refer to NZBC E2/AS1 Figs 39, 42, 44(b), 45(a), 47(b), 48(b), 49(b), 53, 54 & 71. Copies attached to appendix of specification.

1 Chimney-Roof Junction 1:10

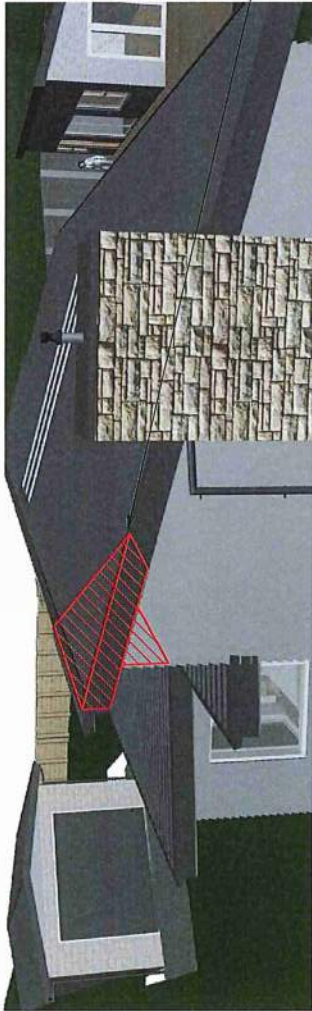
Roof Plan 1:100

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		Date	30/12/2024	Job Ref	1808016	Original Sheet Size	A3
Base	3	Revis No		Bach alteration for Mr & Mrs Lucas 36 Kaiteriti - Sandy Bay Road, Kaiteriti			
Amendment				Bach Roof Plan			

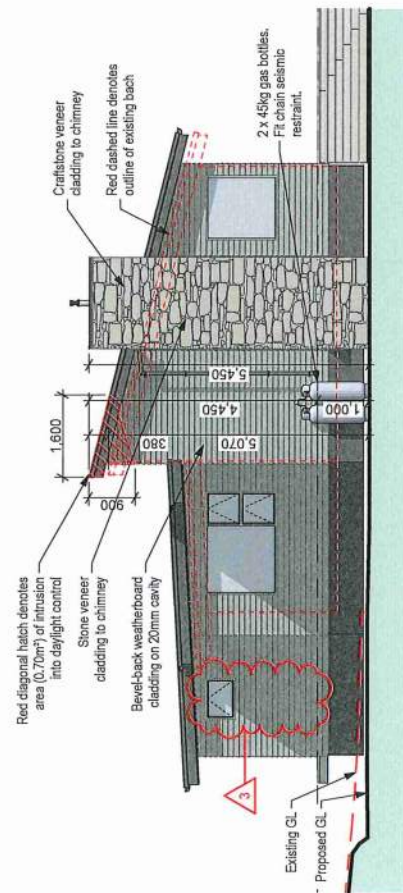
BUILDING ENVELOPE RISK MATRIX		
All Elevations		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Very high risk	5
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		10

The exterior of the building shall be finished in the following colours:
 Dwelling Roof Corrugate Colorsteel Tidalrift - LRV 13%
 Dwelling Walls Bevel back weatherboard Ebony Black - LRV 5%
 Garage Roof Corrugate Colorsteel Tidalrift - LRV 13%
 Garage Walls Concrete block Ebony Black - LRV 5%
 Boat Shed Roof Corrugate Colorsteel Tidalrift - LRV 13%
 Boat Shed Walls Bevel back weatherboard Ebony Black - LRV 5%

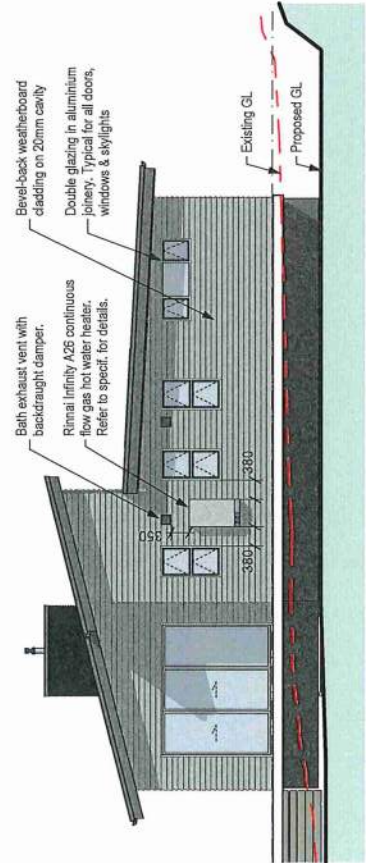
Red diagonal hatch denotes area of intrusion into daylight control. Refer to Elevations.



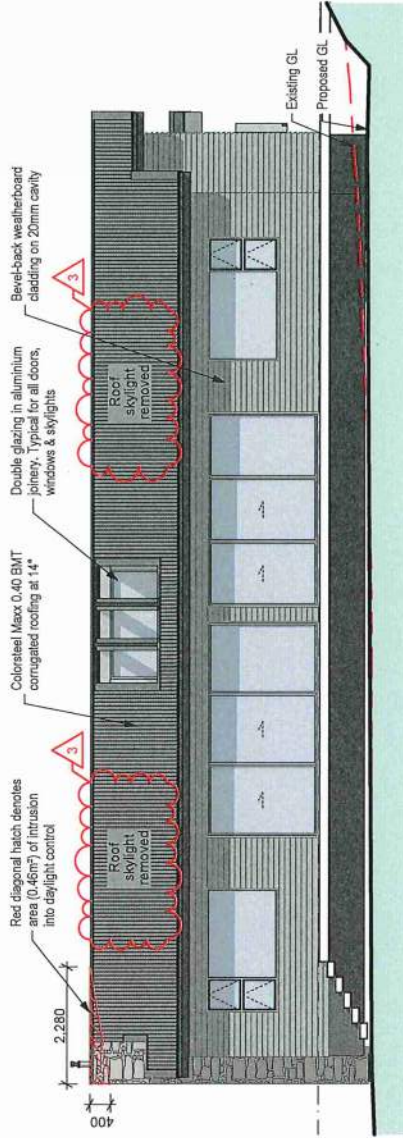
Aerial view from SW



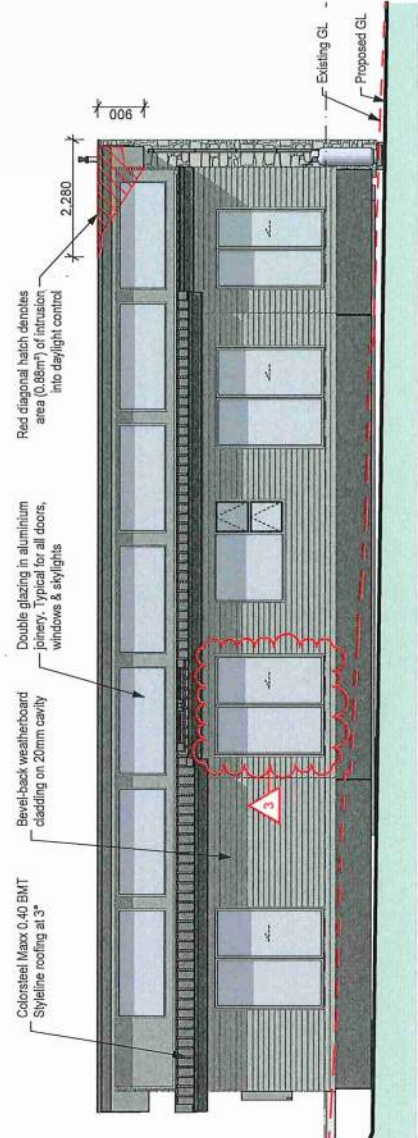
West Elevation 1:100



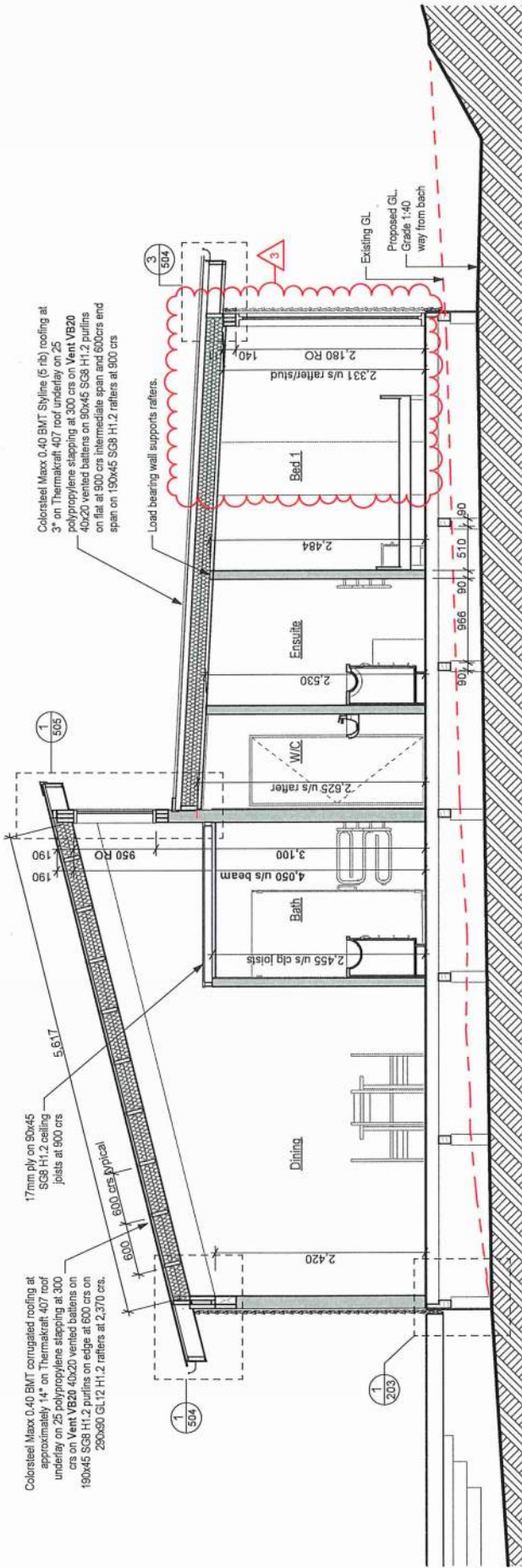
East Elevation 1:100



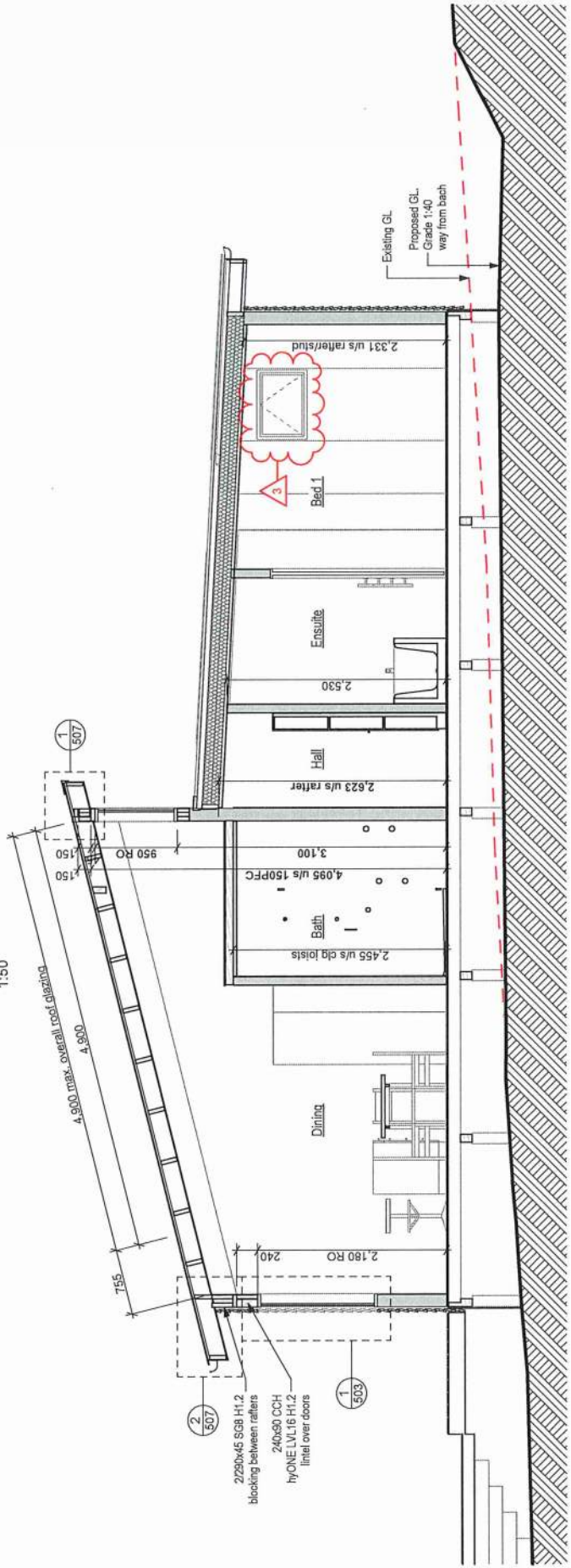
South Elevation 1:100



North Elevation 1:100



Section A1
 1:50



Section A2
 1:50

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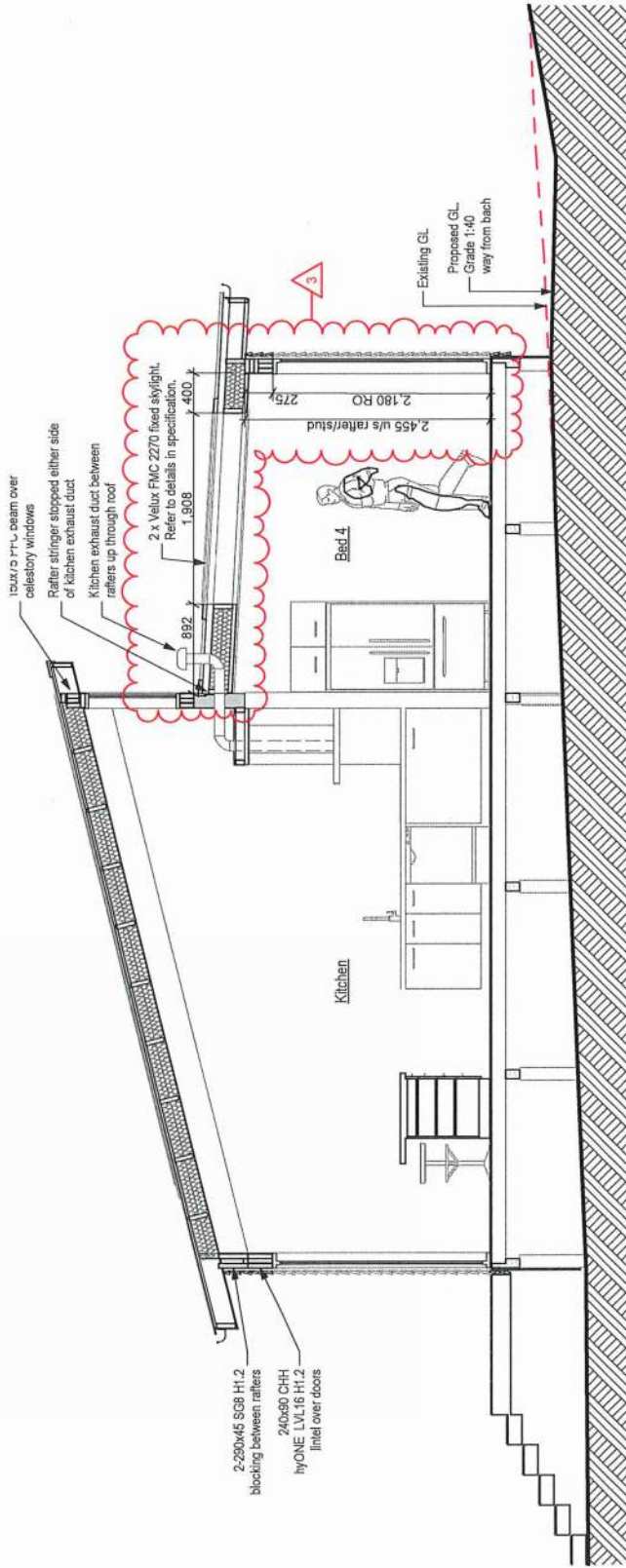
Issue	Issue Note	Date
3	Amendment: Back/boat Shed/Garage/Deck	30/10/2024

Bach Sections A1 & A2

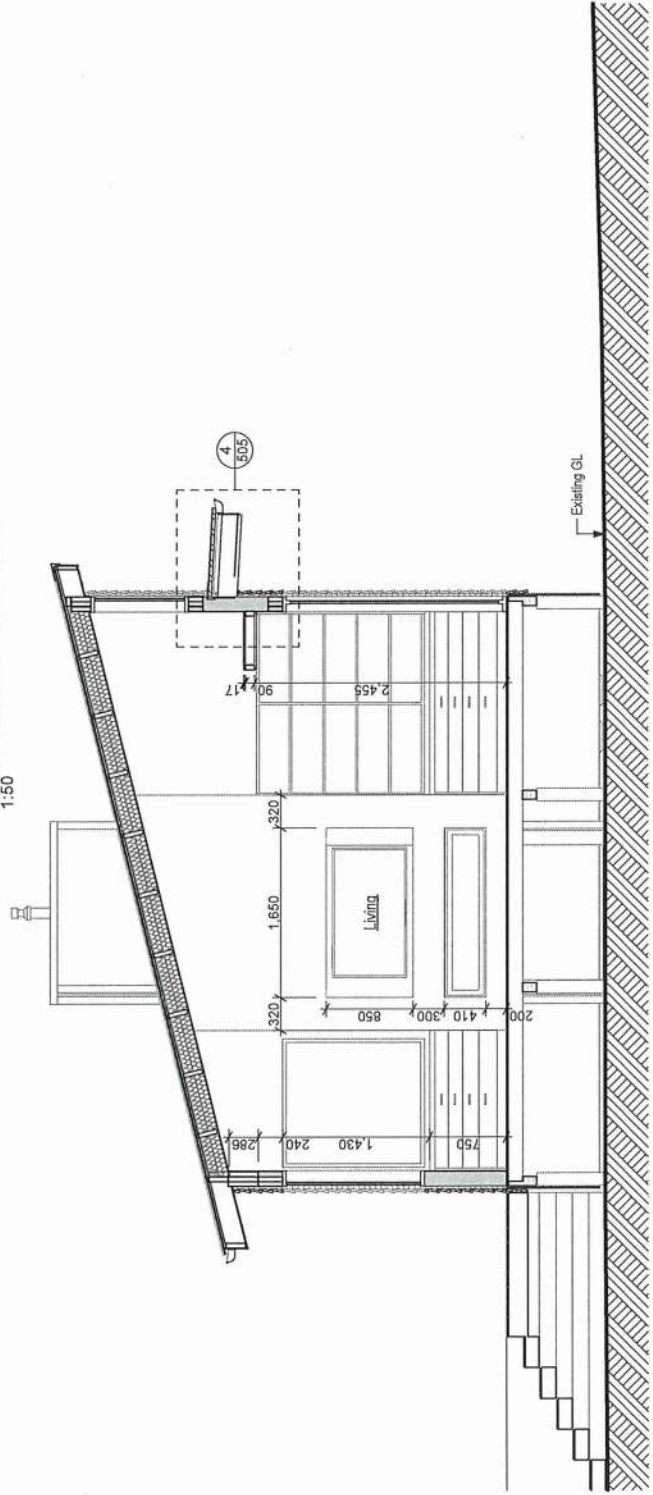
Bach alteration for Mr & Mrs Lucas
 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri

Job Ref 1808016
 Original Sheet Size A3

Sheet No 401
 Issue 3



Section A3
1:50



Section A4
1:50

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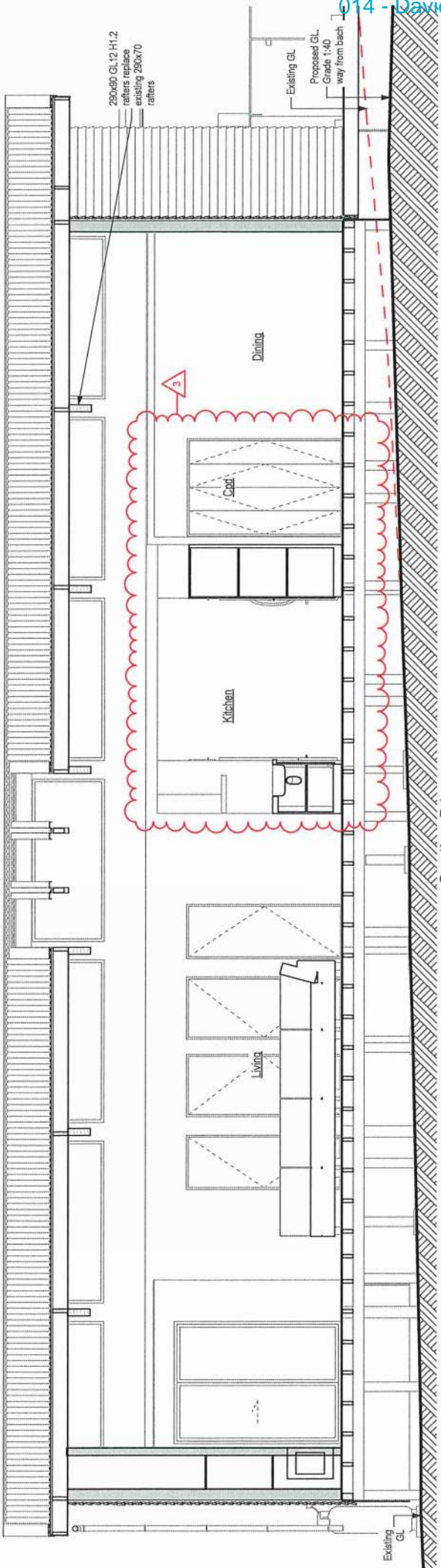
Issue	Issue Title	Date
3	Amendment: Bach/flat Shed/Storage/Deck	30/10/2024

Bach Sections A3 & A4

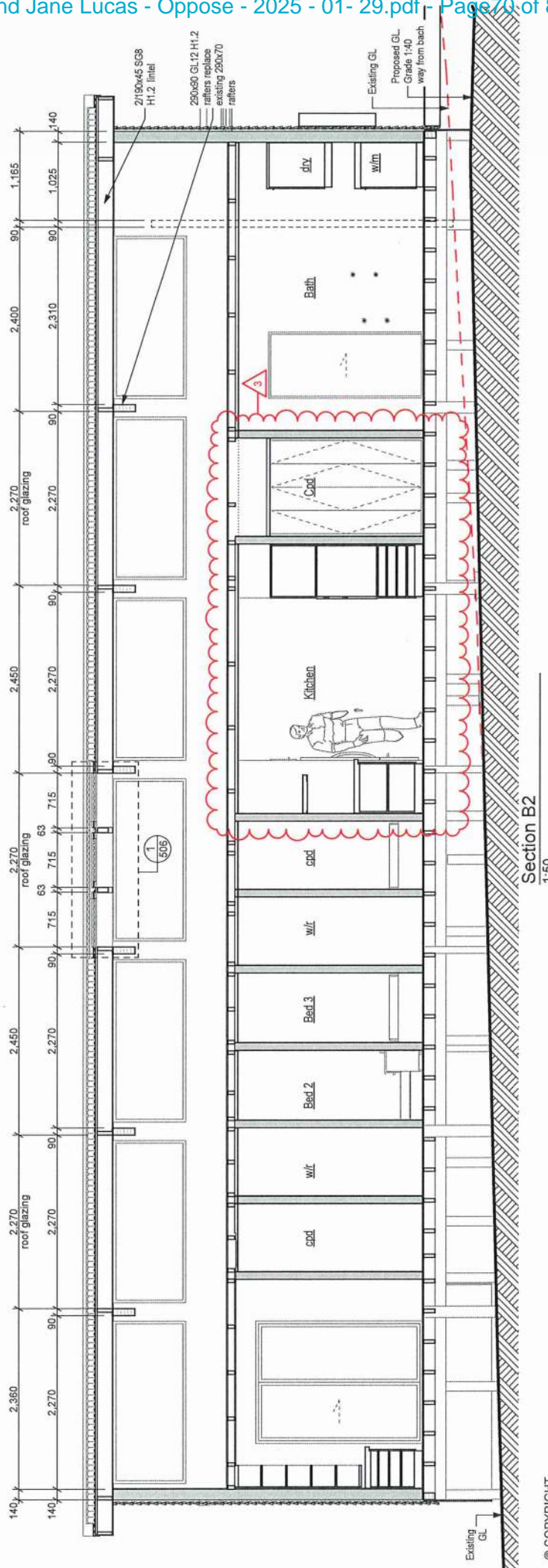
Bach alteration for Mr & Mrs Lucas
 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri

Job Ref 1808016
 Original Sheet Size A3

Sheet No 402
 Issue No 3



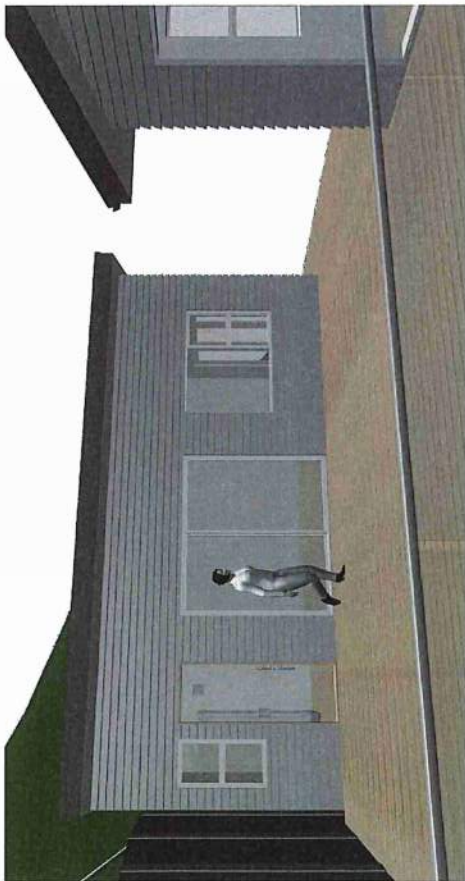
Section B1
1:50



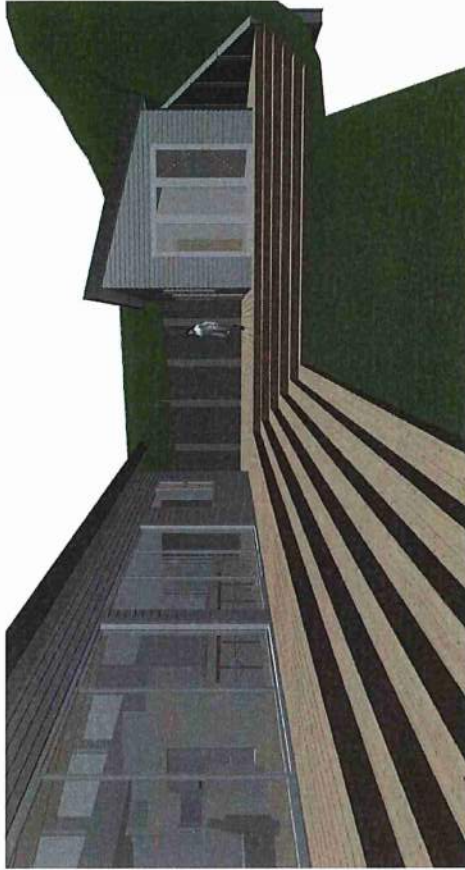
Section B2
1:50

Check all dimensions on site. Measure from plans. If in doubt consult designer.	Issue	Issue Note	Date
	3	Amendment: Bach/Fibat Shed/Garage/Deck	30/10/2024
Baker Drafting Ltd Mechanical & Architectural Drafting Ph/Fax (03) 544-4972 Mob 027 544-4972	Bach Section B1 & B2		
Bach alteration for Mr & Mrs Lucas 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri	Job Ref 1808016	Original Sheet Size A3	Sheet No 403
			Issue 3

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Boat Shed from North



Boat Shed from South

Notes General

- 1) Site measure all windows.
- 2) For cladding and window flashing details refer to details in the appendix of the specification.
- 3) For door and window joinery schedule refer to sheet 602.
- 4) All timbers to be SGR H1.2 treated L.n.o.
- 5) Refer to the NZ Building Code & NZS3604:2011 for all assembly & construction details not indicated on these drawings.

Wet Area Finishes

- Floor**
 Tiles to be laid on Ardex X18 tile adhesive on Ardex WPM 002 wet area membrane system over Hardies 6mm Slate & Tile underlay over 18mm ply flooring.
- Walls within Shower Area**
 Tiles to be laid on Ardex X18 tile adhesive on Ardex WPM 002 wet area membrane system over 6mm Hardie Villoboard to the shower areas.
- Walls outside the Shower Area**
 Tiles to be laid on Ardex X18 tile adhesive over 6mm Hardies Villoboard.
- Ceiling**
 Paint finish over 13mm Gb Aqualine.
- Nails**
 1. Details of Ardex wet area membrane & Ardex adhesive attached to appendix of specification.
 2. For extent of cover of the wet area membrane refer to the Code of Practice of Internal Wet Area Membranes Figure 12. Extract of Code attached to appendix of the specification.
 3. Refer also to Paint & Tiling Sections of Specification.

Framing Notes

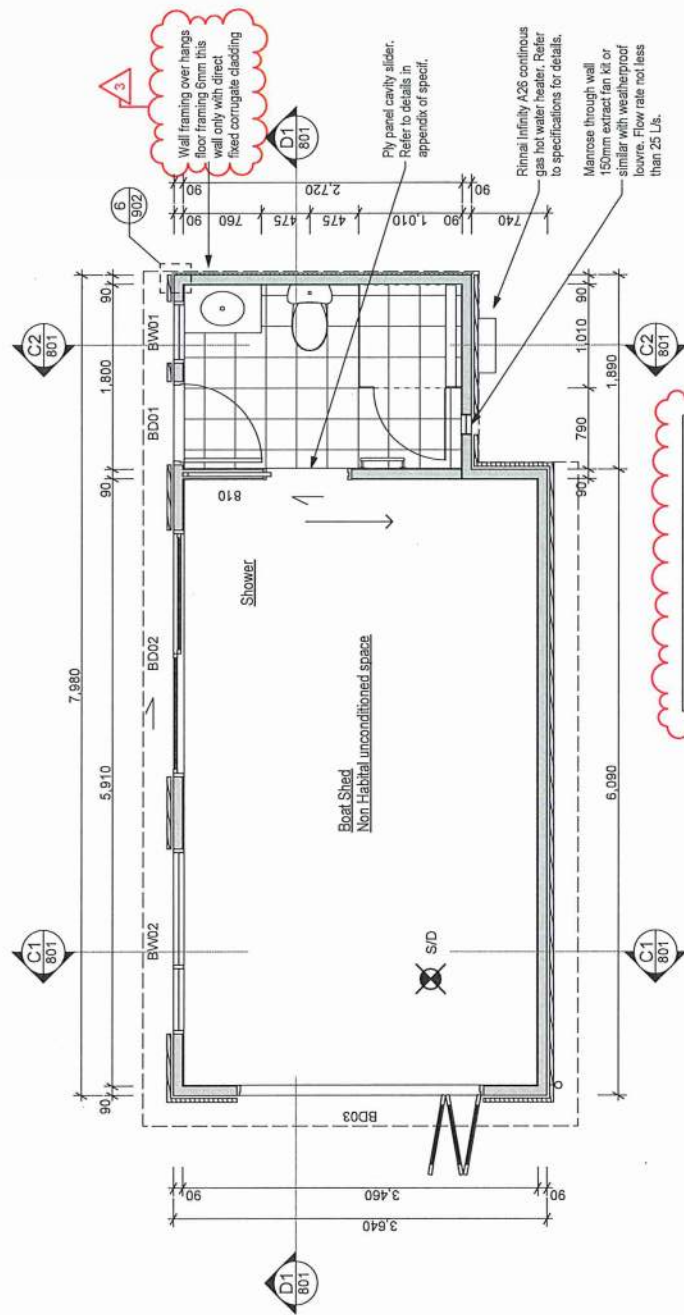
External Walls
 90x45 SGR H1.2 studs at 400 c/s.
 Dwaings at 800 c/s.

Internal Walls
 90x45 SGR H1.2 studs at 400 c/s.
 Dwaings at 800 c/s.

Bottom plate Fixing
 Bottom plate fixed to floor framing with 390x3.15 nails at 600 c/s at external walls & 160x3.15 nail at 600 c/s for internal walls.
 Additional fixing required at bracing panels.
 Refer to the Bracing Plan for location.

Legend

- S/D Smoke Detector / Alarm
- Location of Smoke Alarms
- All hallway and living areas.
- All bedrooms, or within 3m of a sleeping place provided the alarms are audible to the sleeping occupants of the other side of the closed doors.
- Ceiling mounted - 300 min. to from wall.
- Wall mounted - 300 min. from ceiling.
- Smoke Alarm Type**
- Smoke detectors shall have a readily accessible test facility, and also a hush facility with a minimum duration of 60 seconds.
- Shall meet one of the following standards: UL 217, CANULC S531, AS 3786, BS 5446 Pt 1.



Plan - Boat Shed
 1:50

Boat Shed Amendment

1. Floor Level lifted 800 to match existing Bach FFL.
2. Building moved Northeast 1,800 & Southeast 510.
3. Concrete floor changed to timber floor on piles.

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Issue	Issue Note	Date
3	Amendment: Bach/Boat Shed/Garage/Duck	30/10/2024

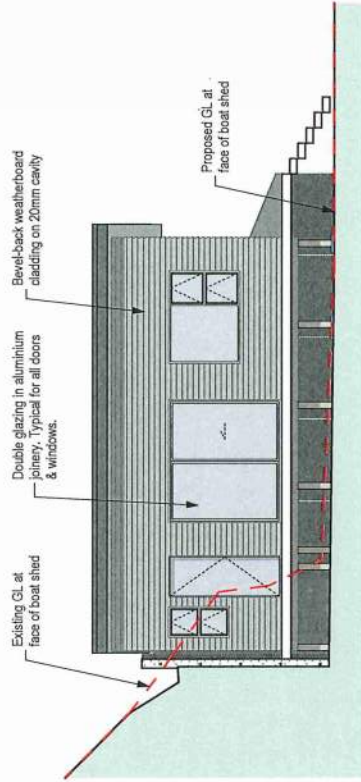
Boat Shed Floor Plan & 3D Views

Bach alteration for Mr & Mrs Lucas
 36 Kaiteriti - Sandy Bay Road, Kaiteriti

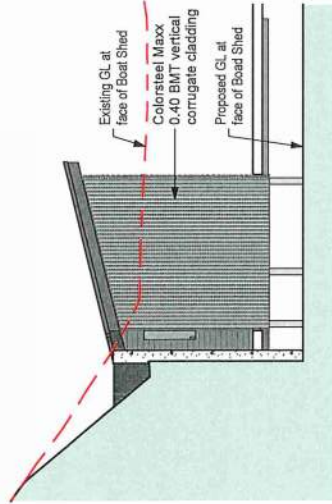
Job Ref 1808016
 Original Sheet Size A3
 Sheet No 601
 Issue 3

The exterior of the buildings shall be finished in the following colours:
 Dwelling Roof Corrugate Colorsteel Tidaldrift - LRV 13%
 Dwelling Walls Bevel back weatherboard Ebony Black - LRV 5%
 Garage Roof Corrugate Colorsteel Tidaldrift - LRV 13%
 Garage Walls Concrete block Ebony Black - LRV 5%
 Boat Shed Roof Corrugate Colorsteel Tidaldrift - LRV 13%
 Boat Shed Walls Bevel back weatherboard Ebony Black - LRV 5%

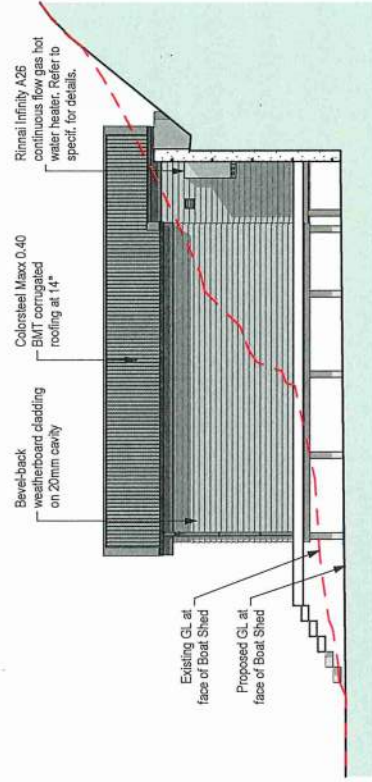
Boat Shed Amendment
 1. Floor Level lifted 800 to match existing Bach FF.
 2. Building moved Northeast 1,800 & Southeast 510.
 3. Concrete floor changed to timber floor on piles.



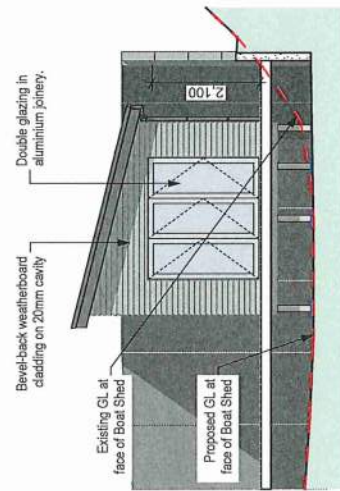
North Elevation
1:100



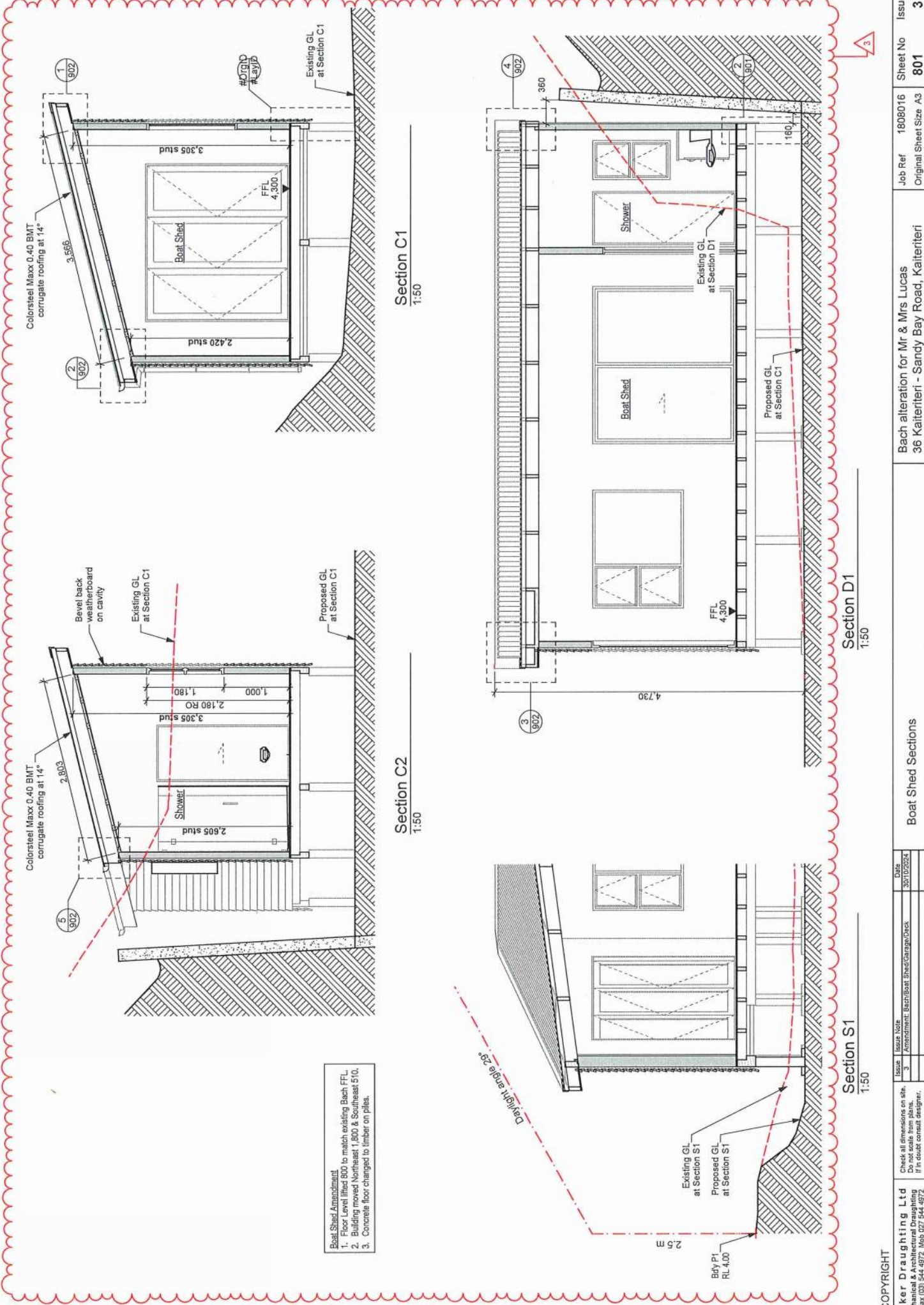
East Elevation
1:100



South Elevation
1:100

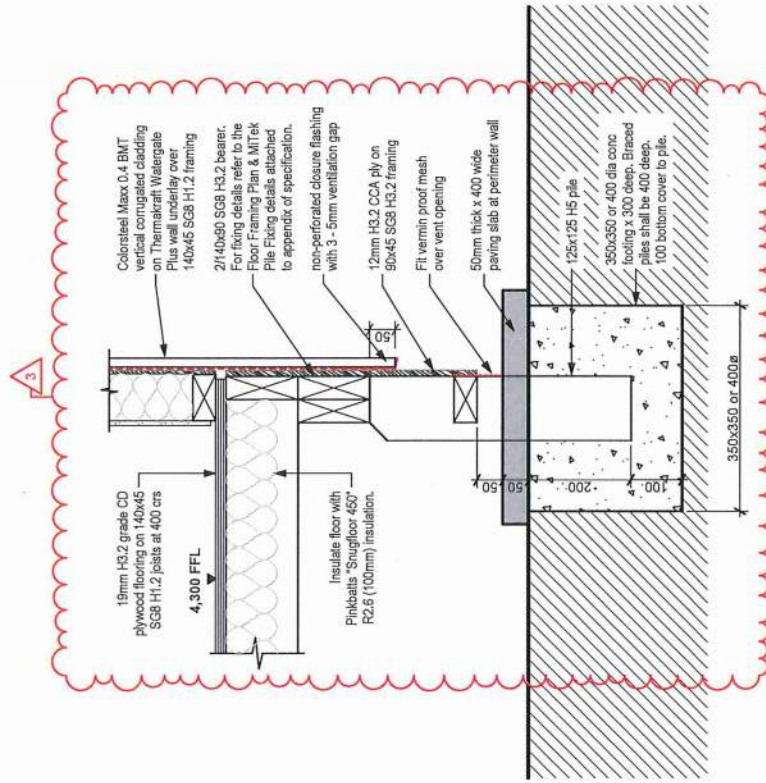


West Elevation
1:100

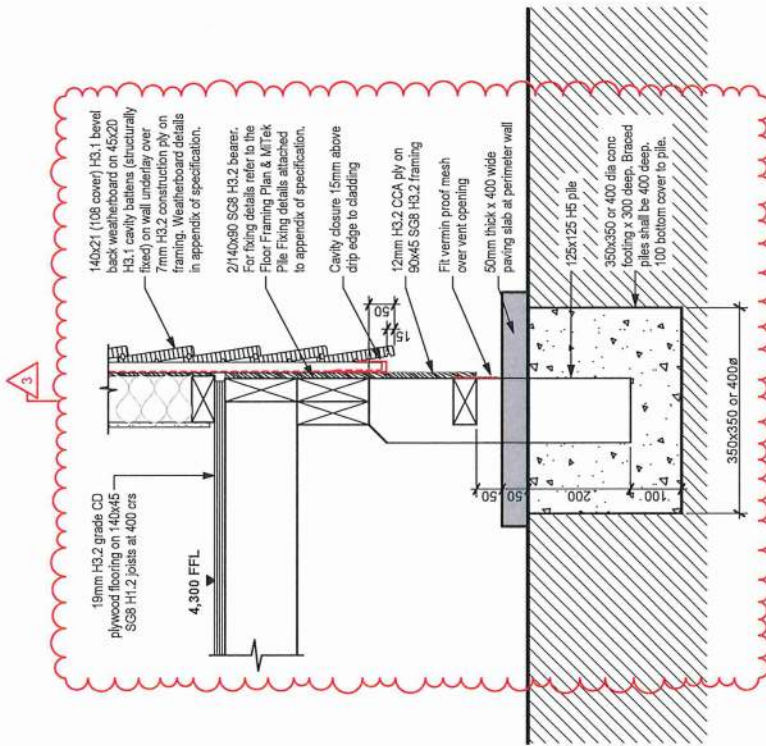


Boat Shed Amendment
 1. Floor Level lifted 800 to match existing Bach FFL.
 2. Building moved Northeast 1,800 & Southeast 510.
 3. Concrete floor changed to timber on piles.

Issue	Issue Date	Issue Note	Date
3	30/10/2024	Amendment: Bach Boat Shed/Garage/Duck	30/10/2024



2 Bottom of Corrugated Cladding 1:10



1 Bottom of Weatherboard Cladding 1:10

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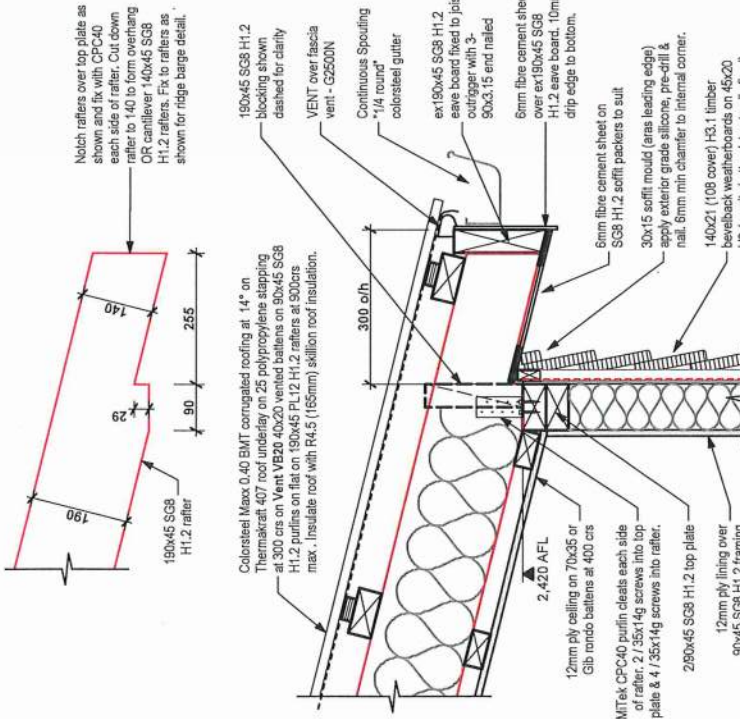
Issue No	Issue Note	Date
3	Amendment: Boat Shed/Garage/Deck	30/10/2024

Boat Shed Foundation Details

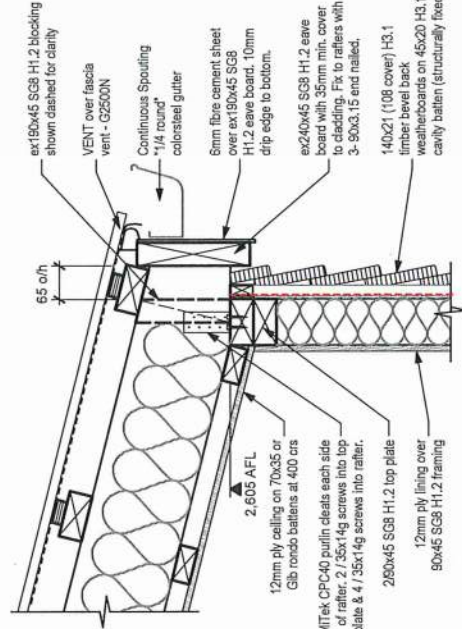
Bach alteration for Mr & Mrs Lucas
36 Kaiteriteri - Sandy Bay Road, Kaiteriteri

Job Ref 1808016
Original Sheet Size A3

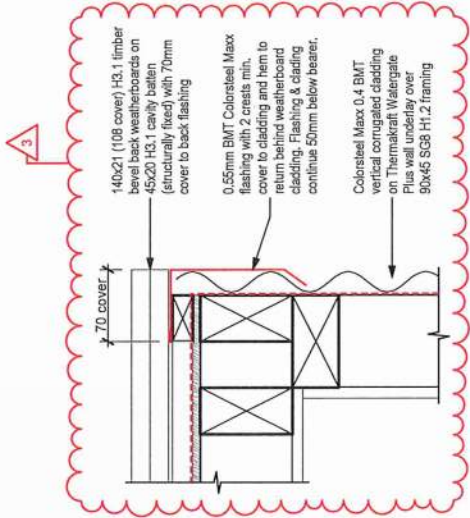
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Issue 3



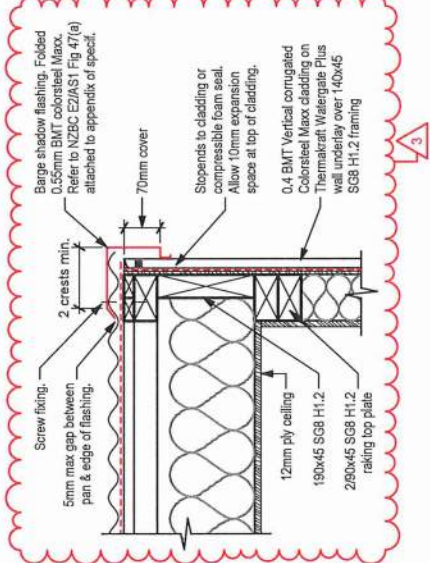
2 Eave 300 o/h 1:10



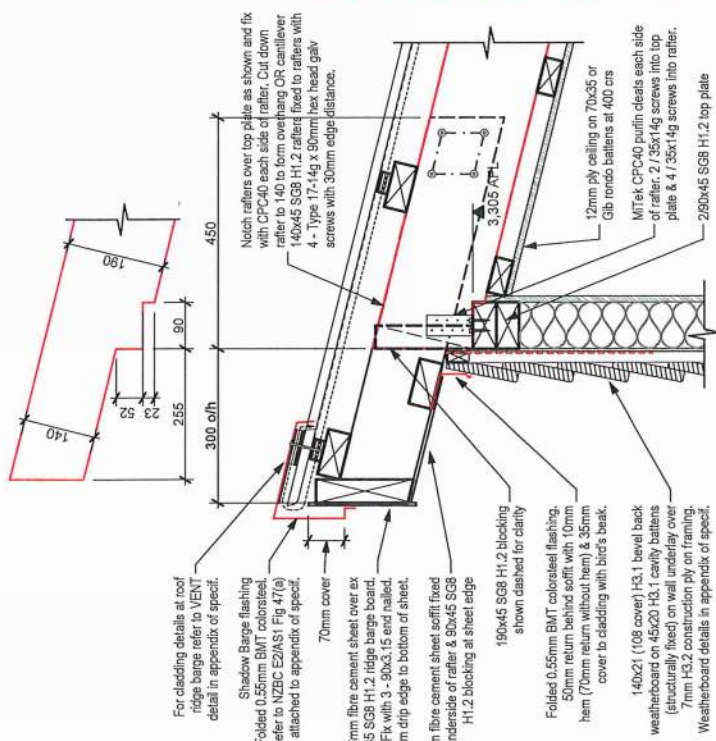
5 Eave 65 o/h 1:10



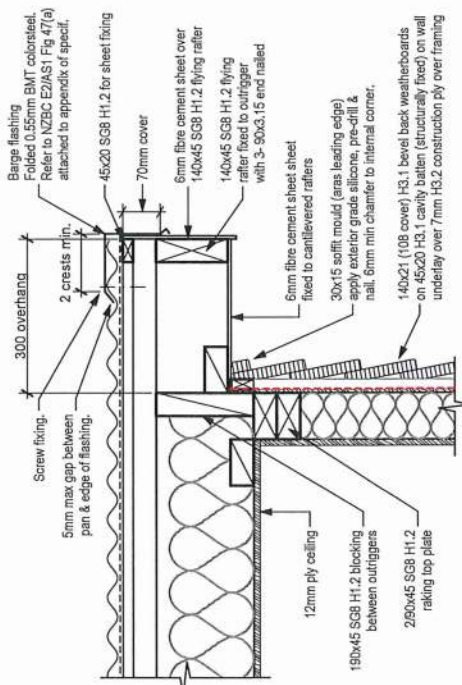
6 Corner - Timber/Corrugate 1:5



4 Raking Barge - Corrugate 1:10



1 Ridge Barge 1:10

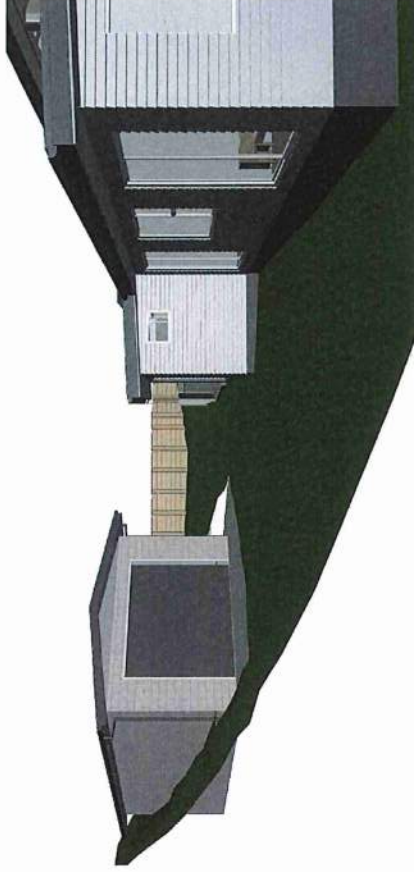


3 Raking Barge 300 o/h 1:10

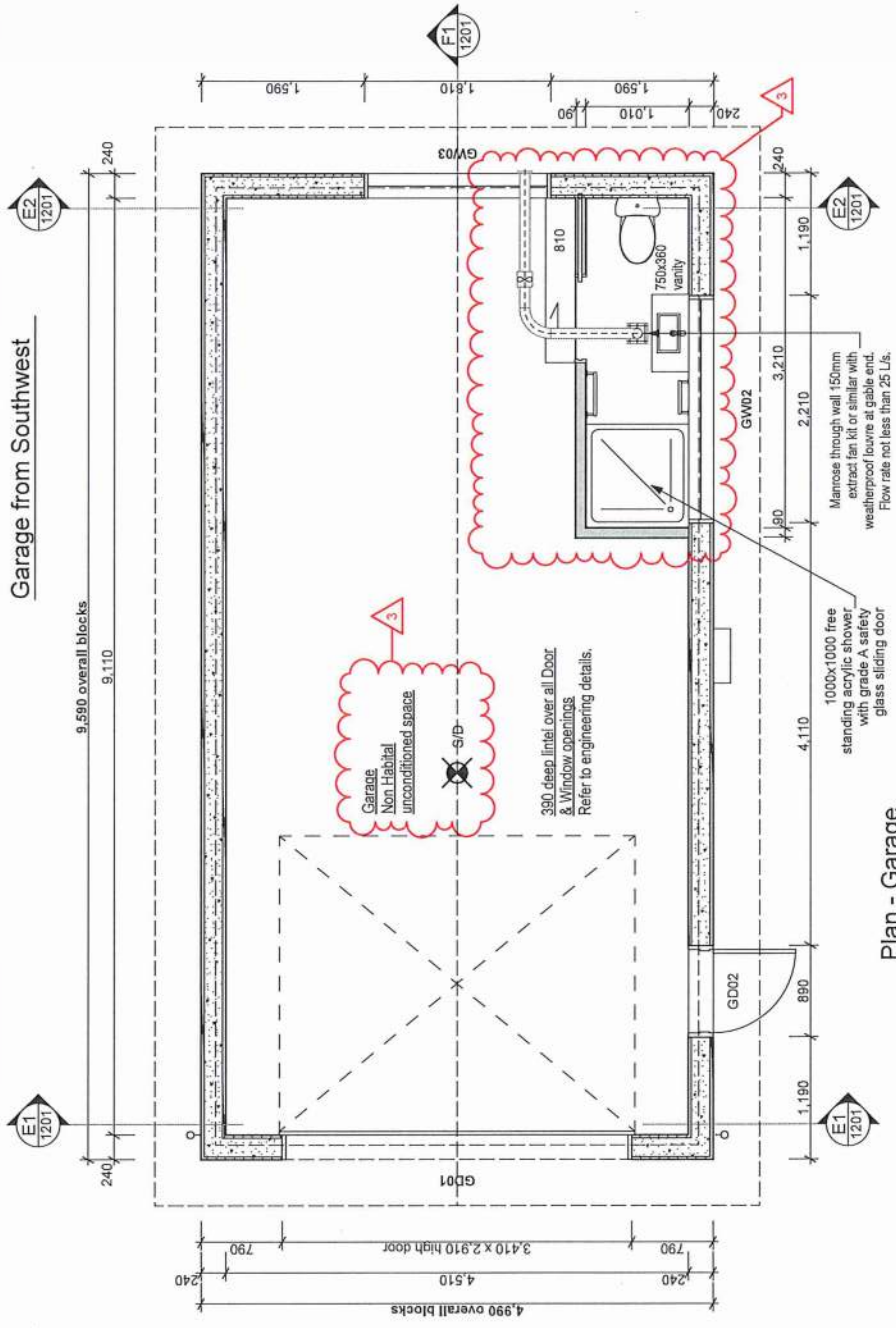
© COPYRIGHT		3	Raking Barge - Corrugate	1:10	4	Raking Barge - Corrugate	1:10	5	Eave 65 o/h	1:10	2	Eave 300 o/h	1:10
Baker Drafting Ltd Mechanical & Architectural Drafting Ph/Fax (03) 544 4872 Mob 027 544 4872													
Check all dimensions on site. Do not scale from plans. If in doubt consult designer.													
Issue 3 Date 30/10/2024 Author/Rev: Barch/Barch/Sheet/Garage/Deck													
Bach alteration for Mr & Mrs Lucas 36 Kaiteriti - Sandy Bay Road, Kaiteriti													
Job Ref 1808016 Original Sheet Size A3													
Sheet No 902													
Issue 3													



Garage from Southeast



Garage from Southwest



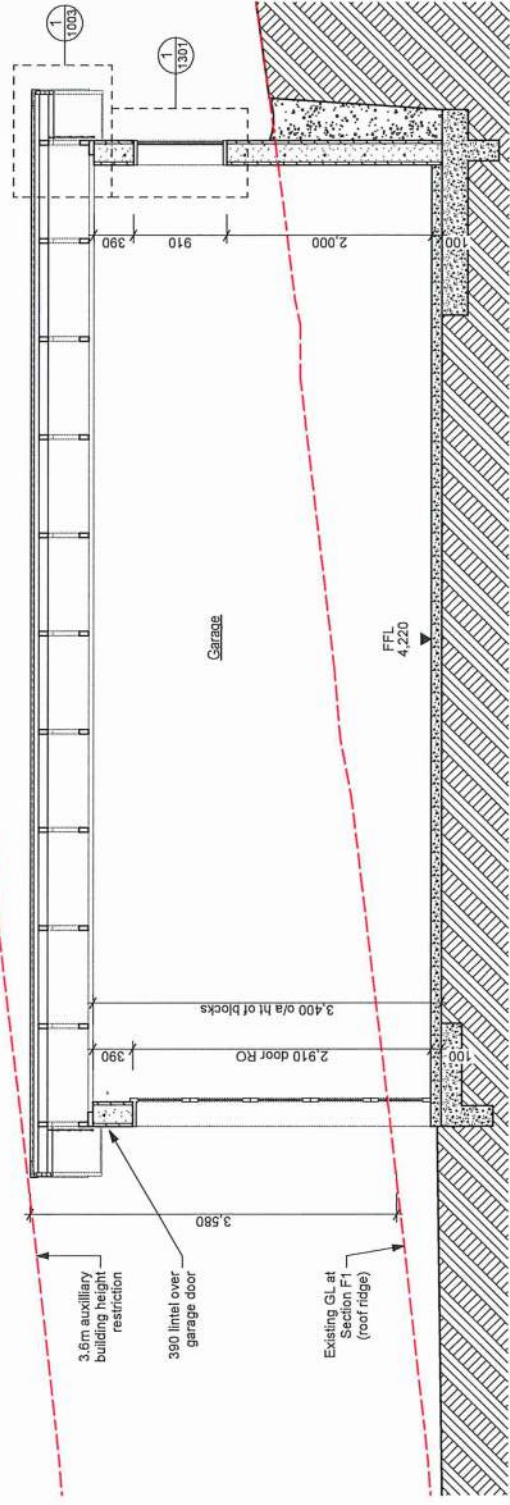
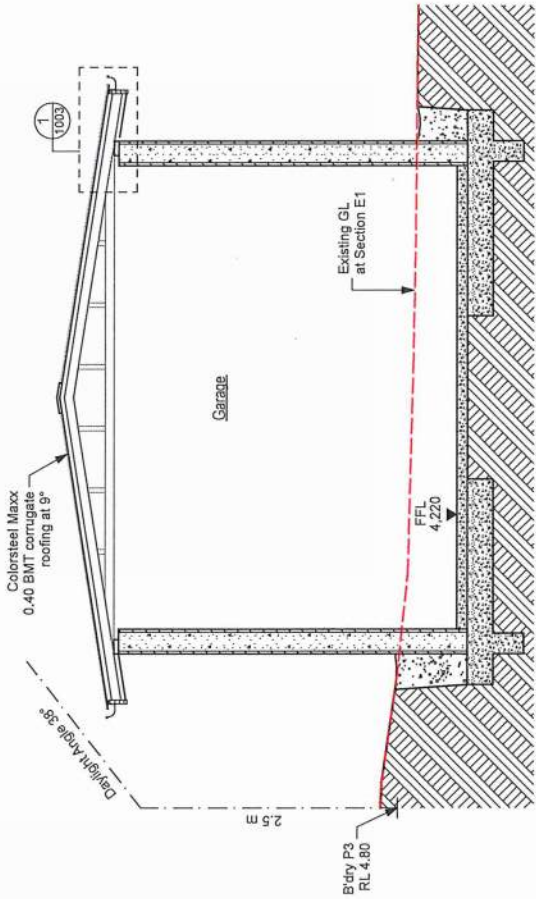
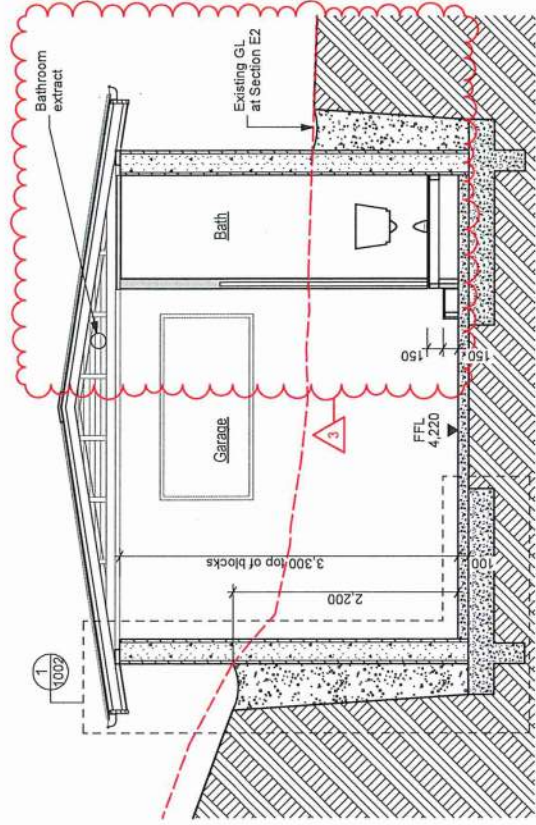
Plan - Garage
1:50

Notes General
 1) Site measure all windows.
 2) For door & window flashing details refer to details in the appendix of the specification.
 3) For door and window joinery schedule refer to sheet 1101.
 4) Refer to the NZ Building Code & NZS3604:2011 for all assembly & construction details not indicated on these drawings.

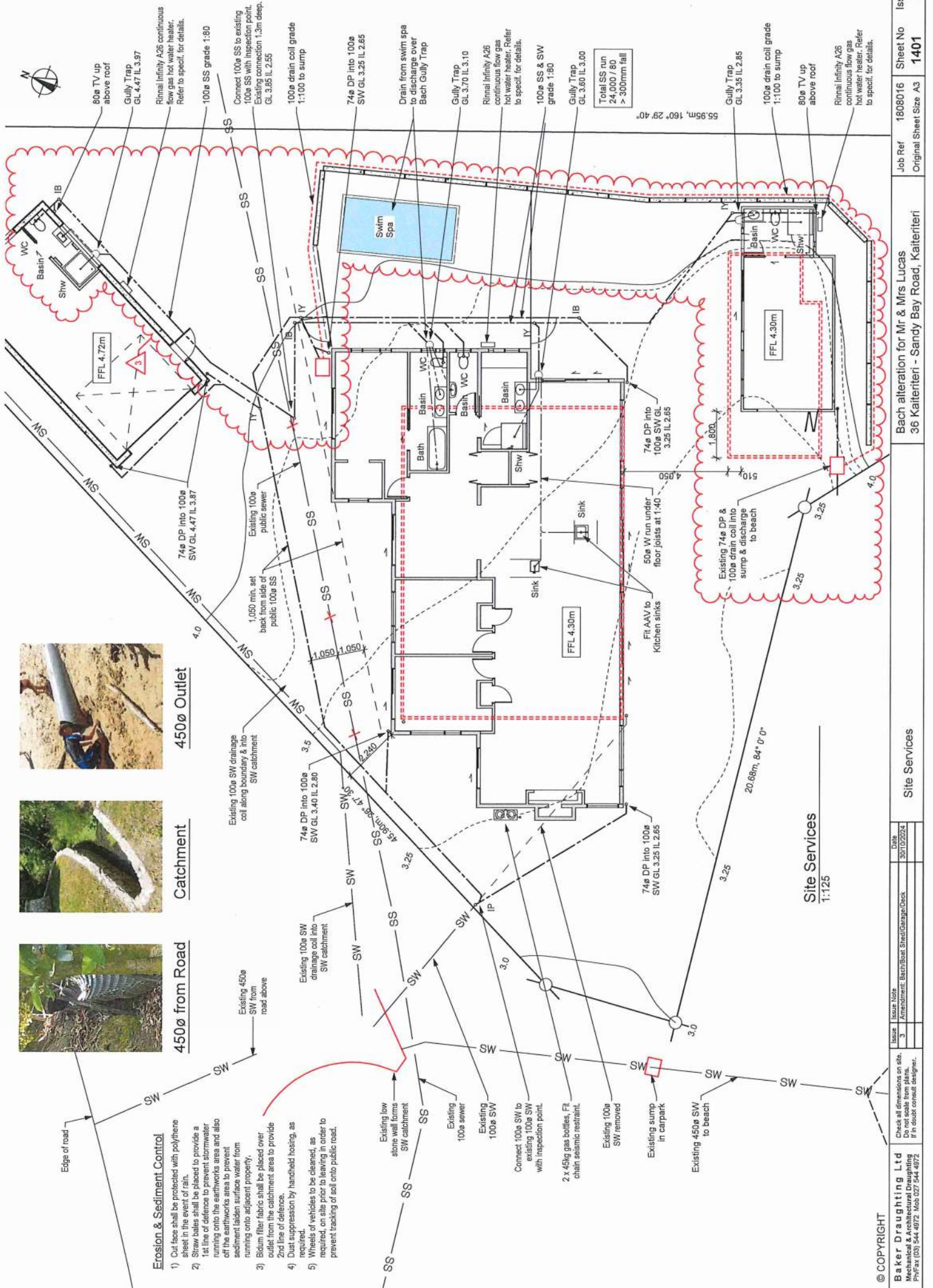
Wet Area Finish
 Floor: Vinyl flooring with heat or solvent welded joints to be covered 100mm up walls. Profiled non-slip profile to be selected by owner.
 Walls: Paint finish over 13mm Gib Aqualine.
 Ceiling: Paint finish over 13mm Gib Aqualine.

Framing Notes
 Internal Walls: 90x45 SCS H1.2 studs at 400 crs. Dwgings at 800 crs.
 Bottom plate Fixing - concrete: Use Ramset M12x140 Truebolts at 900 crs.
 Bottom plate Fixing - timber: Bottom plate fixed to floor framing with 3900x3.15 at 800 crs at external walls & 1/900x3.15 at 600 crs for internal walls.
 All bolts set 75mm min into slab with 50x50x3 washers against all timber.

Issue	Issue Note	Date
3	Amendment: Bachiboot Shed/Garage/Dock	30/10/2024



© COPYRIGHT Baker Drafting Ltd Mechanical & Architectural Drafting PMP/PA (03) 544 4972 Mob 027 544 4972	Check all dimensions on site. If in doubt consult Designer.	Issue Note 3 Amendment: Bath/Bat, Shed/Garage/Deck	Date 30/10/2024	Garage Sections	Job Ref 1808016	Sheet No 1201	Issue No 3
	Batch alteration for Mr & Mrs Lucas 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri				Original Sheet Size A3		
	Batch alteration for Mr & Mrs Lucas 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri						



- Erosion & Sediment Control**
- 1) Cut face shall be protected with polythene sheet in the event of rain.
 - 2) Straw bales shall be placed to provide a 1st line of defence to prevent stormwater running onto the earthworks area and also off the earthworks area to prevent sediment laden surface water from running onto adjacent property.
 - 3) Bidum filter fabric shall be placed over outlet from the catchment area to provide 2nd line of defence.
 - 4) Dust suppression by handheld hosing, as required.
 - 5) Wheels of vehicles to be cleaned, as required, on site prior to leaving in order to prevent tracking of soil onto public road.

450Ø Outlet
 Catchment

450Ø from Road

Site Services
 1:125

© COPYRIGHT Baker Drafting Ltd Mechanical & Architectural Drafting PHIPPA (NS) 544 4972 Mob 027 544 4972	Check all dimensions on site. If in doubt consult designer.	Issue Note 3 Amendment: Bath/Bed Room/Garage/Back	Date 30/10/2024
	Site Services	Batch alteration for Mr & Mrs Lucas 36 Kaiteriteri - Sandy Bay Road, Kaiteriteri	Job Ref 1808016
	Original Sheet Size A3	Sheet No 1401	Issue 3

Kākā Island Burial Ground

Kākā Pā Point

... e pā recorded
... let (Mārahau).
... nal area in the
... il Tasman area.

... d was protected on
... peoples associated
... it was abandoned.

... ss road and carpark,
... is possibly still intact
... ens, ovens and stone
... f earlier communities
... periods (Greig, 2007).

Pah Point

Sir,— Concerning the article on the front page of the Motueka News about a trench uncovered at Pah Point, Kaiteriteri, this trench extended completely across the peninsula, joining the mainland on the west. Anyone familiar with this area knows there is almost a sheer drop of 60ft to 100ft on both the south and north sides, while the east is bounded by rocks and also presents a steep climb to the top. At the top today we have a very fine lookout. Before this was constructed there were in a line from north to south approximately 12 to 15 holes. Over these the Maoris built their shelters. About four more holes ran in a line across the north end. Some have been completely filled but at least two remain only partly filled. Just below these on the east side, overlooking the bay, was a cluster of small rocks. A seat had been heven on top of one at a comfortable height and adjoining it was a rock with a flat top. Around the base of this rock were piled heaps of flint stone. Obviously this was where the alders made their axes, while keeping a watch for raiders from across the bay or along the coast. The trench on the land side was approximately six feet deep on the bottom side, some eight feet across, while on the top side it rose in a sheer wall varying from 10 to 15 feet high. Invaders attempting to scale it would be at the mercy of the defenders. Pah Point was a Maori fortress. There are holes dug by the Maoris on many of the vantage points overlooking the bay. I have always been given to understand the Maoris built their shelters over these. No doubt the shelters were in the vicinity of where they kept watch. New Zealand's history does not have great interest me it seems a shame that we do not restore this fortress. It is of great interest and can only become greater as the years go by. As a boy I played at being a defender. A rock dislodged at the top would gather speed down the steep slopes to crash and disintegrate on the rocks below. A handful of defenders always defeated hordes of invaders. (sic)

GORDON ROWLING, Riwaka RD 3, 19 July 1978

Kākā Island Urupā

Kākā Island is an urupā – a traditional Māori burial ground. It lies just off Kākā Point.

Although Kākā Point Pā does not seem to have been in use at the time of first European settlement of the Nelson region, the chiefs who held manawhenua (authority over the land) in the Kaiteriteri district when the New Zealand Company arrived (Te Ātiawa, Ngāti Rārua) exercised their iahiākitanga (stewardship, guardianship) responsibilities by ensuring that the Kākā Island Urupā was reserved in Māori ownership. This discharged the obligations, incumbent on manawhenua people everywhere, to honour and protect the sacred places of their predecessors.

Five acres, described as Urupā Reserve, was "... excepted in grant to the New Zealand Company, 1848"
The Urupā Reserve was eventually vested in the Motueka Māori Committee to be held in trust "... for the benefit of all members of the Māori race residing in the district of Motueka".

THE LEFT WATERMARK, WHICH IS THE MARK OF THE NEW ZEALAND COMPANY, IS THE MARK OF THE NEW ZEALAND COMPANY, WHICH IS THE MARK OF THE NEW ZEALAND COMPANY.

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Pāpali



Patupaiarehe - Kākā Island Urupā

Kākā Island is an urupā – a traditional Māori burial ground. It lies just off Kākā Point.

Although Kākā Point Pā does not seem to have been in use at the time of first European settlement of the Nelson region, the chiefs who held manawhenua (authority over the land) in the Kaiteiteri district when the New Zealand Company arrived (Te Ātiawa, Ngāti Rārua) exercised their kaitiakitanga (stewardship, guardianship) responsibilities by ensuring that the Kākā Island Urupā was reserved in Māori ownership. This discharged the obligations, incumbent on manawhenua people everywhere, to honour and protect the sacred places of their predecessors.

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QUOTES FROM THE MINUTE BOOK OF THE NELSON MĀORI LAND COURT #13 1850A-288

FOR LEFT WATERMARK, artists impression of houses within fortified pā, in Nelson region, after John Webber, 1840s. LEFT: Letter to the Editor Nelson Evening Star, 26 July 1978. MĀORI PĀ, KĀKĀ ISLAND, DISTRICT OF MOTUEKA

J D Peart consulted with the Māori elders of 1930s. His writings illustrate the special significance of the stretch of coastline, from what is locally called 'Old Pā' the abode of the patu-paiarehe (fairy folk) and kēhua (ghosts). The kēhua went abroad at night and favoured certain local limestone rocks and bluffs, backed by bush clad hills, would

Patupaiarehe were expert net makers and cloth weavers from



the Motueka News about a trench extended completely to the west. Anyone familiar with this to 100ft on both the south and east also presents a steep climb to the top. Before this was constructed immediately 12 to 15 holes. Over these holes ran in a line across the bay, at least two remain only partly visible. The trench on the west side, some eight feet deep, was at the mercy of the defenders. Pah dug by the Maoris on many of the hills always been given to understand the doubt the shelters were in the vicinity of this fortress. It is of great interest to go by. As a boy I played at being a defender. I would gather speed down the steep hillsides and back up the steep

3. 19 July 1978

Patupaiarehe – Fairy Folk of the Coast

RESEARCH & TEXT: HILARY & JOHN MITCHELL, NELSON

J D Peart consulted with the Māori elders of Tasman Bay in the 1930s. His writings illustrate the special significance of the Kaiteriteri District.

"The stretch of coastline, from what is locally called 'Old Pā Hill' [i.e. Puketāwiri] to Kaiterere, was a district formerly feared by the Māori. It was the abode of the patu-paiarehe (fairy folk) and kēhua (ghosts) who were, and still are believed in, to a great extent, in many parts of New Zealand. The kēhua went abroad at night and favoured certain localities, of which the above was much frequented by such ghostly visitors – its quaint limestone rocks and bluffs, backed by bush clad hills, would naturally appeal to the imaginative Māori when he visited or passed by that place."

Illustration by John Mitchell based on research by Hilary and John Mitchell

Patupaiarehe were expert net makers and cloth weavers from whom Māori acquired the same skills.

